

ARTICLE 6. LANDSCAPING AND BUFFERING

6.01. PURPOSE.

- A. The purpose of this Article is to protect and improve the health, safety and general welfare of Frankfort and Franklin County residents and visitors by:
1. Reducing noise, water, air and visual pollution;
 2. Lowering air temperatures and glare associated with heat islands, large impervious surfaces and reflected sunlight;
 3. Mitigating the impact of the glare from automobile lights to adjoining and adjacent properties;
 4. Reducing stormwater runoff volumes and velocities associated with impervious surfaces;
 5. Reducing the total volume of stormwater pollutants entering streams and stormwater and stormwater runoff entering the sewer system, lessening the impact to streams and waterways;
 6. Improving the appearance and functionality of vehicular use areas (VUAs) and property adjoining public rights-of-way;
 7. Increasing land values by providing landscaping as a capital asset;
 8. Providing biodiversity and protecting habitat for wildlife and natural vegetation;
 9. Buffering land uses to reduce or eliminate impacts between different types and intensities;
 10. Providing visual interest that is related to and consistent with the community character of Frankfort and Franklin County.
 11. Maintaining a quality of life that is important to the livability and economic vitality of Frankfort and Franklin County.
- B. These regulations provide minimum requirements related to site and vehicular use area landscape design, land use buffers, tree protection and preservation, preferred and prohibited landscape materials, and installation and maintenance of required landscape and buffer materials.
- C. These regulations are in accordance with the Goals, Objectives, and Policies of the Comprehensive Plan and are in addition to and supplement the regulations contained in all other Articles of these Zoning Regulations.

6.02. SITES AFFECTED

Landscaping as required in the [Table 6.02-1: Applicability of Landscaping and Buffering Standards](#) shall be required as follows:

A. New Sites

All new site development, buildings, structures, or VUAs shall be constructed with landscaping as required by the provisions of this Article.

B. Existing Sites

1. All new parking lot construction, including the expansion, moving or relocation of existing parking. These requirements shall only affect those newly paved areas of five (5) spaces or larger, or any paved area larger than 1,500 square feet. The number of parking spaces added shall also include any spaces added within one (1) calendar year prior to the building permit application for the new spaces. These requirements shall, in no instance, be deemed as retroactively affecting sites prior to the adoption of this amendment.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.03. WHO PROVIDES LANDSCAPING

2. Repair/replacement of existing parking lots with new parking material, either smaller, same size, or larger. This does not apply when repairing, installing an overlay and/or restriping or when only a new seal coating is applied to the site.
3. Substantial additions and renovations to an existing building related to a change in use. Substantial building will be defined per the criteria established in [Table 6.02-1: Applicability of Landscaping and Buffering Standards](#).
4. When a land use changes to a different land use requiring the construction of additional parking.

Table 6.02-1: Applicability of Landscaping and Buffering Standards	
SITE / BUILDING IMPROVEMENT	COMPLIANCE REQUIRED WITH APPLICABLE STANDARDS
NEW CONSTRUCTION	
New Construction	Full Compliance
BUILDING EXPANSION / ADDITION	
Less than 25% of floor area	N/A
25 – 50% of floor area	Partial Compliance ^[1] (Parking Lot Landscaping, Perimeter Landscaping)
>50% of floor Area	Full Compliance
INTERIOR REVNOATIONS / TENANT FINISH	
Less than 50% of floor area	N/A
>50% of floor area	Partial Compliance ^[1] (Parking Lot Landscaping, Perimeter Landscaping)
EXTERIOR FAÇADE RENOVATION	
<25% of Façade Area	N/A
25 – 50% of Façade area	N/A
>50% of Façade Area	N/A
CHANGE OF USE / OCCUPANT	
Change in Use Only (No Expansion or Renovation)	Compliance required if new use triggers higher landscaping requirements (adjacent use compatibility, additional parking required, etc.)
VEHICULAR USE AREA IMPROVEMENTS	
Parking Lot Expansion < 10 Spaces	N/A
Parking Lot Expansion > 10 spaces	Compliance required for expanded portion
Resurfacing or Restriping	N/A
[1] Partial Compliance shall require the installation of 25% of the otherwise required vehicle use area landscaping area, and 25% of the otherwise required plantings (including trees and shrubs).	

6.03. WHO PROVIDES LANDSCAPING

- A. Landscaping required to fulfill this ordinance shall be provided by the property owner. If an adjacent property or right-of-way has landscaping fulfilling vehicular use area perimeter screening, and/or zone to zone, or land use to land use screening requirements, the requirement for perimeter landscaping along the common boundary may be waived if deemed appropriate by the Planning and Community Development Department.
- B. Maintenance of the required landscaping is the responsibility of the property owner and access to landscaping should be provided (i.e., gate).

6.04. EASEMENTS, RIGHT-OF-WAY AND SETBACKS

- A. Required landscaping may be placed wholly or partially in utility of other easements providing all requirements can be fulfilled and approval is granted by the holder of the easements. Trees placed under overhead utility wires must be from List B – Flowering Trees. The rights-of-way of any public street may also be utilized for the required landscaping provided that the approval is granted by the

appropriate government. It must be noted that an Encroachment Permit shall be required from the Kentucky Department of Transportation to plant on State right-of-way.

- B. No landscaping shall be permitted in the sight triangles of driveways or intersections other than groundcover. See [Section 4.04.B. Traffic Visibility Across Corner Lots](#).
- C. Landscaping must also be placed in the required area between the property line and the front, rear and side yard setbacks.
- D. Perimeter landscaping surrounding a use or vehicular use area will be required only where the addition of building or parking is adjoining properties of a more restrictive zone, land use, or public or private right-of-way. See [Figure 6-1](#) below.

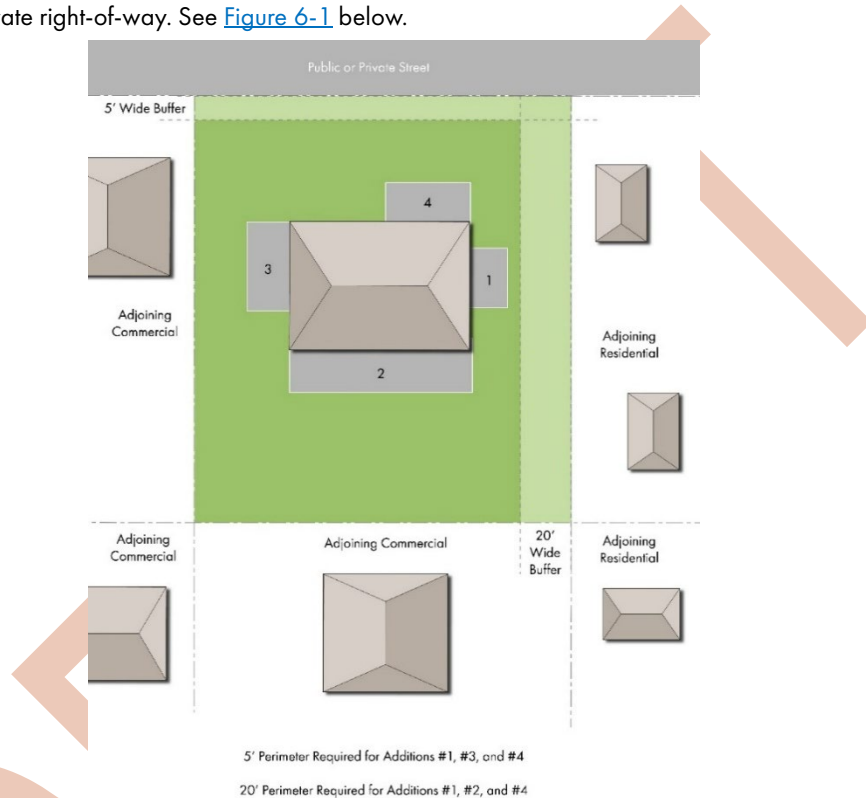


Figure 6-1: Clarification of Perimeter Landscaping

6.05. LANDSCAPE MATERIALS

A. Walls and Fences

1. When walls or fences are used to fulfill screening requirements, they shall be graphically depicted and detailed on the submitted landscape buffer drawings.
2. Walls shall be constructed of natural stone, brick, or other weatherproof materials approved by the City Director of Planning and Community Development and the County Director of Planning and Zoning or designated staff.
3. Fences shall be constructed of wood or other weatherproof, durable materials intended for exterior use and approved by the Director of Planning and Community Development or designated staff. This includes pressure treating or painting of lumber if it is not redwood or cedar and using aluminum or galvanized hardware.
4. Walls or fences used to satisfy screening requirements shall be at least 80% opaque.
5. Fences shall provide a finished side facing the lower intensity use.
6. Chain link fences with wood or synthetic slat material are not allowed.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.05. LANDSCAPE MATERIALS

7. In general, the goal of fences and walls is to relate to the design aesthetic of the proposed development and to be consistent with the character of the community. Examples of preferred walls and fences include native stone walls, native stone wall bases with fencing on top, or horizontal slat wood fencing (See [Figure 6-2](#) below).



Figure 6-2: Examples of walls and fences

B. Plants

It is strongly recommended that plants native to the area be used to encourage biodiversity throughout Frankfort and Franklin County and discourage the use of invasive species. However, non-native plants are permissible if they have been proven to be non-invasive. Plants are to be living and part of the acceptable plants listed later in this article. This is not a comprehensive or all-inclusive list. Plant recommendations may gradually shift over time to adapt to local climate and environmental conditions.

Tree species shall factor in planting site conditions as well as efforts to improve tree species diversity based on other species in place in the surrounding area, following the 10-20-30 Rule. The 10-20-30 Rule is a guideline to reduce the risk of catastrophic tree loss due to pests or disease by including no more than 10% of any one tree species, 20% of any one tree genus, or 30% of any tree family.

1. Quality

Plant materials used in conformance with provision of this Ordinance shall conform to the standards of the American Association of Nurserymen (AAN) which is on file at the Planning and Community Development Department and shall have passed any inspection required under State regulations. Bare root plants, with the exception of shrubs and hedges, vines and ground covers shall be prohibited. This includes all plants not balled and burlapped or containerized.

2. Deciduous Trees

Shall be species having an average mature crown spread or greater than 15 feet in Franklin County and having trunk(s) which can be maintained with over six (6) feet of clear wood in areas which have visibility requirements. Trees having an average mature spread of crown less than 15 feet may be substituted by grouping of the same so as to create the equivalent of a 15 foot crown spread. A minimum of six to eight (6-8) feet overall height or a minimum caliper (trunk diameter, measure by 6 inches above ground for trees up to four (4) inches

caliper) of a least two (2) inches immediately after planting shall be required. Trees of species whose roots are known to cause damage to public roadways or other public works shall not be planted closer than 15 feet to such public works, unless the tree root system is completely contained within a barrier for which to minimum interior container dimensions shall be five (5) feet square and five (5) feet deep and for which the construction requirements shall be four (4) inches thick, reinforced concrete. Trees planted under, or within 20 lateral feet of overhead utility lines shall be limited to those that have been identified as acceptable by the Frankfort Plant Board. Please refer to the Frankfort Plant Board website (<http://fpb.cc/tree-id>).

3. Evergreen Trees

Shall be a minimum of eight (8) feet high with a minimum caliper of two (2) inches immediately after planting. Evergreen trees provide natural screening and shall be used to buffer more intense land uses. Non-sheared evergreen trees are preferred.

4. Shrubs and Hedges

Shall be at least 18" - 24" in average height when installed. All plants shall conform to opacity, mature height, and other requirements within four (4) years after the date of the final approval of each planting or replanting. Privet, Ligustrum species cannot meet the opacity requirements and may not be issued to satisfy the requirements of this Article. The height of the planting shall be measured from the level of the surface of the vehicular use area at the edge closest to the screening.

5. Grass or Ground Cover

Grass of the fescues (Gramineae) and/or Bluegrass (Poaceae) family shall be planted in spaces normally grown as permanent lawns in Franklin County, and may be sodded, plugged, sprigged, or seeded; except in swales or other areas subject to erosion where soiled sod, erosion reducing net, or suitable mulch shall be used, nurse-grass seed shall be sown for immediate protection until complete coverage otherwise is achieved. Grass sod shall be clean and free of weeds and noxious pests or diseases. Ground cover shall be planted not more than 15 inches on center (O.C.) and in such a manner as to present and have 75% of complete coverage after two (2) complete growing seasons. Annual Rye species can be used for temporary erosion control.

6. Meadow / Pollinator Gardens

Meadows and pollinator gardens are designed to mimic a natural grassland, featuring a dense mix of native grasses and wildflowers to provide habitat throughout the four seasons for a wide variety of plant and animal life not found in other habitats. They can be planted in places normally grown as permanent lawns, as replacements for fescues and Bluegrass. While these landscape areas will not need to be maintained/mowed as frequently as grass lawns, they will need to be maintained to prevent invasive species (i.e., Johnson grass, Thistle, Honeysuckle, etc.) from establishing, especially for the first three (3) years.

C. Earth Mounds

Earth mounds shall be barriers which block a view consisting of earth and covered with grass or other ground cover. Differences in elevation between areas requiring screening do not constitute an earth mound. Mounds shall be designed to provide proper drainage, integrate smoothly with the surrounding landscape, and use a maximum slope of 3:1 for proper maintenance.

D. Maintenance and Installation

All landscaping materials shall be installed according to nationally accepted planting procedures as defined by the AAN. The Owner of the property shall be responsible for the continued property maintenance of all landscaping materials, and shall keep them in a proper, neat and orderly

ARTICLE 6. LANDSCAPING AND BUFFERING

6.06. TREE CANOPY

appearance, free from refuse and debris at all times. All unhealthy or dead plant material shall be replaced within one year, or by the next planting period, whichever comes first; while other defective landscape material shall be replaced or repaired within three months. Topping trees or the severe cutting of limbs to stubs larger than three (3) inches in diameter within the tree crown to such a degree as to remove the normal canopy shall not be considered proper for the maintenance of trees as required by this Article. Tree pruning cuts shall be made sufficiently close to the trunk or parent limb without cutting into branch collar or leaving a protruding stub so that closure can readily start under normal conditions. All branches that are so heavy as to cause bark splitting or peeling are to be precut. Violations of these installation and maintenance provisions shall be ground for the Division of Planning and Community Development to refuse a building occupancy permit, require replacement of landscape material or institute legal proceedings to enforce the provisions of this Article.

6.06. TREE CANOPY

A. Purpose and Intent

The intent of this section is to protect, preserve, and grow Frankfort and Franklin County's tree canopy and support its management by:

1. Recognizing trees and the urban forest as a valuable and necessary asset which is treated as an equal utility and service to the public.
2. Establishing and enforcing standards to properly plant, maintain, and protect public and private trees and maximize the benefits the urban forest provides to Frankfort and Franklin County, including:
 - a. Filtering pollution from the air.
 - b. Sequestering carbon dioxide.
 - c. Absorbing and filtering pollution from stormwater run-off.
 - d. Producing oxygen.
 - e. Reducing flooding.
 - f. Stabilizing soils and reducing erosion.
 - g. Cooling the environment and helping reduce urban heat island impacts.
 - h. Reducing energy consumption by shielding structures from harsh winds and sun.
 - i. Providing a buffer and screen against noise, light, and pollution.
 - j. Improving property values.
 - k. Improving commercial district buyer traffic.
 - l. Lowering crime rates.
 - m. Improving community interaction.
 - n. Providing habitat for birds and other wildlife.
 - o. Protecting and enhancing quality of life.
3. Recognizing that some trees may have a condition or risk rating that may endanger or be a nuisance to the public or property within the city/county or may put at risk the health of other trees and vegetation.

B. Tree Protection and Preservation

1. Methods of Compliance

Tree canopy requirements of this section may be satisfied in the following order of preference:

- a. Preservation of existing trees or tree stands on the development site.

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

account per 1 ¾" caliper tree required to meet a sites tree canopy requirement. All fees paid shall be used for trees to be planted on an alternative site as determined by the Urban Forester.

C. Tree Placement Requirements (Not Diseased, Dangerous, or Dead)

1. Removal of an existing and previously required tree(s) or required landscape material within a commercial or industrial development:
 - a. Any removal and replacement of healthy, required landscape trees within a commercial or industrial development requires an updated landscape plan approved administratively by staff. Planning Commission approval is only required if the modification alters more than 25% of the originally approved site landscaping.
 - b. The applicant shall provide a financial guarantee (cash escrow or letter of credit) equal to 125% of the total cost of the replacement materials and installation. The security shall be held until staff verifies successful installation, not to exceed one year.

6.07. LANDSCAPE BUFFER REQUIREMENTS

A. General Perimeter Landscaping Requirements (Landscape Buffers)

1. Landscape Buffers minimize the potential for nuisances created when zoning districts or land uses of varying intensities abut and shall be required for all new construction subject to these regulations. Landscape Buffer requirements shall be applied along property or right-of-way lines and at the perimeter of Vehicular Use Areas
2. Landscape Buffers shall be provided on the site of the more intense use or zoning district except when the more intense use was present prior to the effective date of this regulation. When more than one Landscape Buffer requirement applies, the more restrictive standards shall be used.
3. If mature trees and quality natural vegetation exist on site prior to development, they may be considered acceptable as part of landscape buffers by the Planning and Community Development Department.
4. Landscape Buffers requirements are established as follows:

Table 6.07-1: Landscape Buffer Yards Established	
PROPOSED USE TYPE	BUFFER YARD REQUIRED
Multi-Family Residential and Public & Institutional Use	Section 6.07.B
Commercial Use	Section 6.07.C
Enterprise Use	Section 6.07.D

B. Multi-Family Residential and Public & Institutional Landscape Buffer Requirements

Multi-Family Residential Uses and Public & Institutional Uses, as established in [Table 3.03-1: Use Table](#), shall meet the following buffer yard requirements. Single-, two-, and multi-family (3-5 units) dwelling uses shall be exempt these buffer requirements.

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

Table 6.07-2: Multi-Family Residential and Public & Institutional Use Buffer Yard Requirements				
SCENARIO		BUFFER YARD REQUIREMENTS		
When the...	Adjoins a...	Type Required	Width (min.)	Installation Requirements
Multi-Family Residential Use -or- Public & Institutional Use	Any single-family residential district or use	Residential Buffer 'A' (Figure 6-3) -or-	20'	A double row of an evergreen shrub hedge (E) planted on the higher density residential side PLUS either a deciduous shade tree (A) planted every 30'-40' O.C., a deciduous flowering tree (B) planted every 20'-30' O.C., or an evergreen tree (C) planted every 20'-30' O.C. OR a mix of tree types (A, B, or C) -or-
		Residential Buffer 'B' (Figure 6-4) -or-		Minimum 6-foot tall wall or fence or 3' tall earth mound PLUS either a deciduous shade tree (A) planted every 30'-40' O.C., a deciduous flowering tree (B) planted every 20'-30' O.C., an evergreen tree (C) planted every 20'-30' O.C., and shrubs (D or E) planted every 6' O.C. OR a mix of tree types (A, B, or C) -or-
		Residential Buffer 'C' (Figure 6-5)		A continuous, staggered double row planting of evergreen trees (C) planted every 15' O.C.

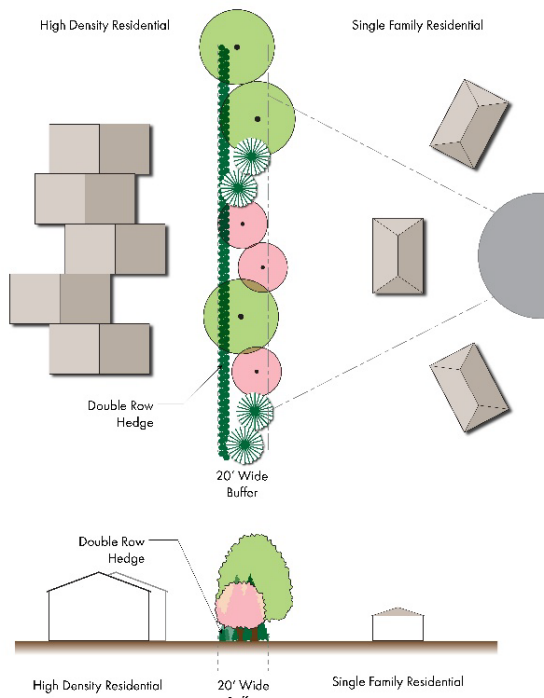


Figure 6-3: Residential Buffer 'A'

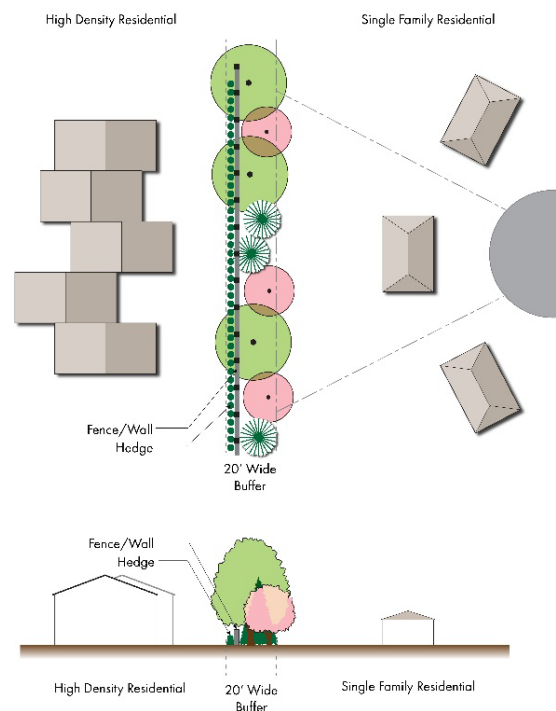


Figure 6-4: Residential Buffer 'B'

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

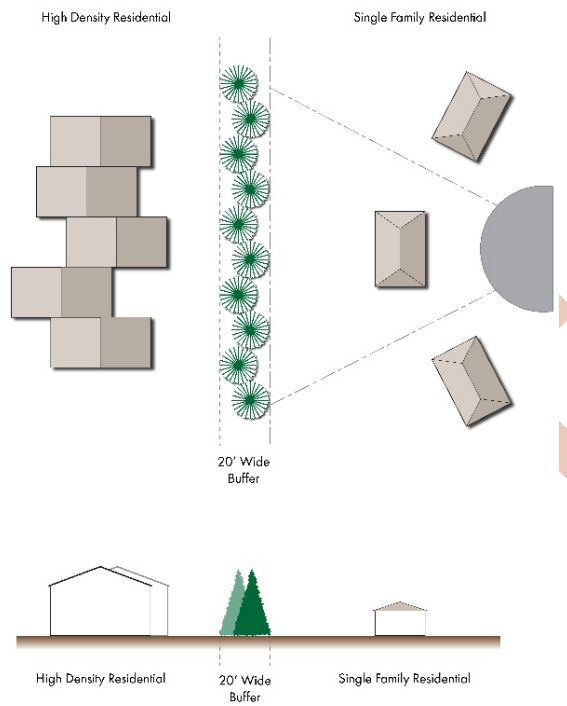


Figure 6-5: Residential Buffer 'C'

C. Commercial Use Landscape Buffer Requirements

Commercial Uses, as established in [Table 3.03-1: Use Table](#), shall meet the following buffer yard requirements:

Table 6.07-3: Commercial Use Buffer Yard Requirements				
SCENARIO		BUFFER YARD REQUIREMENTS		
When the...	Adjoins a...	Type Required	Width (min.)	Installation Requirements
Service Drive / Storage	Residential Use	Commercial Buffer A (Figure 6-7)	25'	Minimum 6' tall wall or fence or a 3' tall earthmound PLUS a shrub hedge (D or E) facing commercial side PLUS Either a deciduous shade tree (A) planted every 30'-40' O.C., a deciduous flowering tree (B) planted every 20'- 30' O.C., or an evergreen tree (C) planted every 20'- 30' O.C. OR a mix of tree types (A, B, or C)
Service Yard (Tractor Trailers / Loading Docs)		Commercial Buffer B (Figure 6-8) -or-	36'	Either: A staggered double row of an evergreen shrub hedge (C) PLUS a mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., or evergreen trees (C) planted every 20'- 30' O.C. OR
		Commercial Buffer C (Figure 6-9) -or-		Minimum 6' tall wall or fence or 3' tall earthmound plus a shrub hedge (D or E) facing commercial side PLUS a mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., or evergreen trees (C) planted every 20'- 30' O.C. OR
		Commercial Type D (Figure 6-10) -or-		A continuous, staggered double row planting of evergreen trees (C) planted every 15' O.C. PLUS a mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., or evergreen trees (C) planted every 20'- 30' O.C.

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

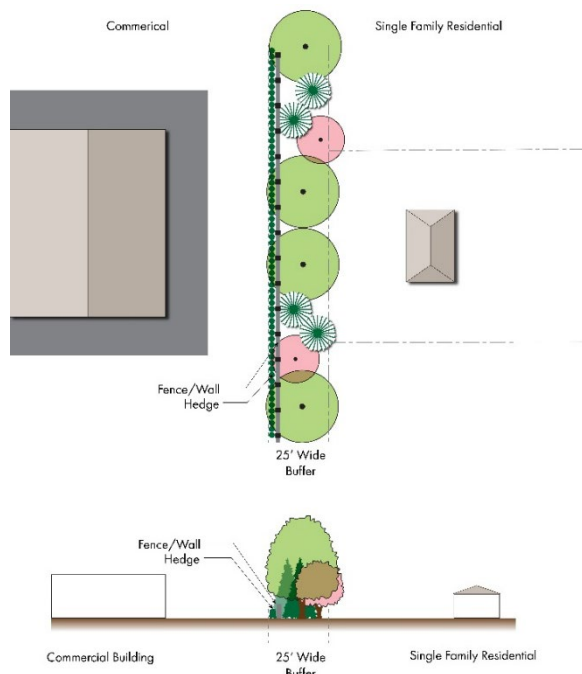


Figure 6-7: Commercial Buffer 'A'

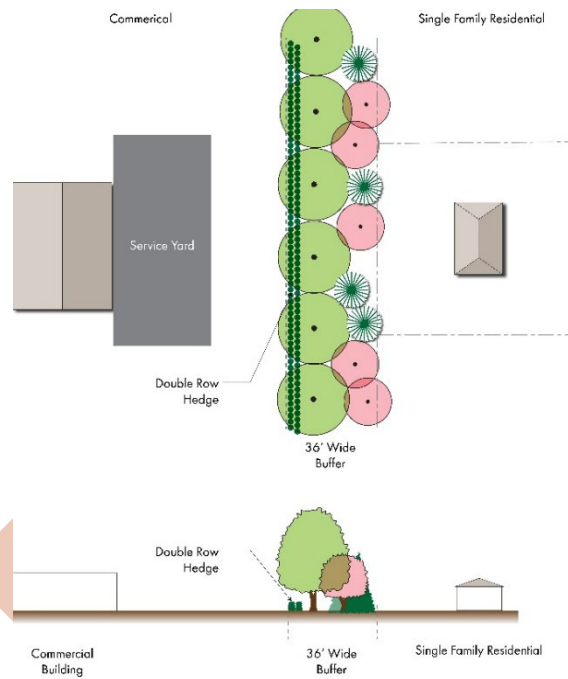


Figure 6-8: Commercial Buffer 'B'

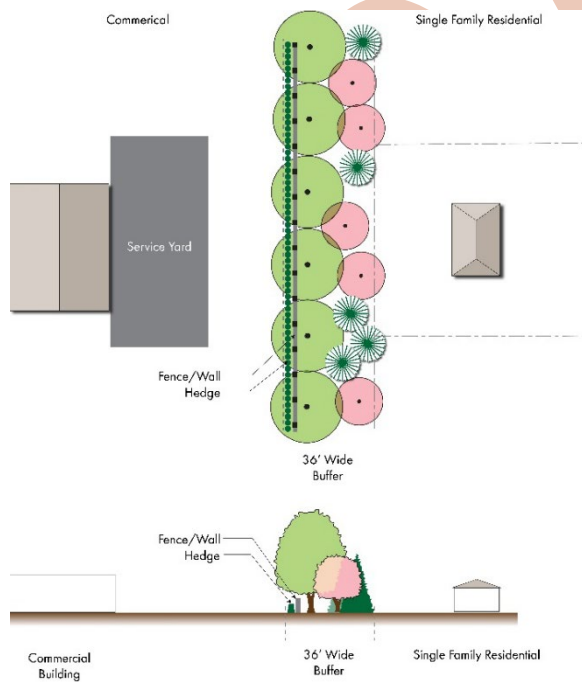


Figure 6-9: Commercial Buffer 'C'

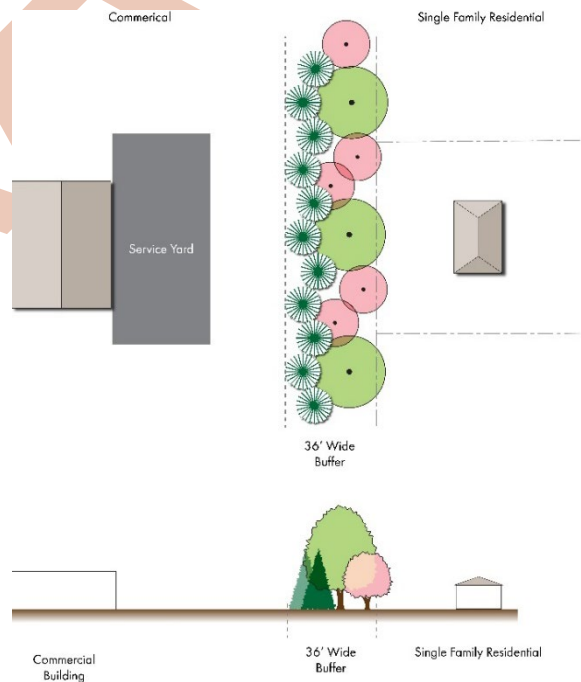


Figure 6-10: Commercial Buffer 'D'

D. Enterprise Use Landscape Buffer Requirements

For the purposes of buffer requirements, Enterprise uses, as established by [Table 3.03-1: Use Table](#) are identified in the following categories:

Table 6.07-4: Enterprise Use Type Tiers		
TIER I (Section 6.07.D.1)	TIER II (Section 6.07.D.2)	TIER II (Section 6.07.D.3)
- Laboratory and Research Facility - Manufacturing, Artisanal - Manufacturing, Fabrication - Self-Storage / Mini-Storage	- Building Materials Sales and Storage - Data Center - Distribution / Fulfillment Center and Warehousing - Manufacturing, General - Manufacturing, Light - Transportation Terminals and Freight Services - Warehousing and Storage	- Junk / Salvage / Tow Yard - Mining - Processing and Refining, Materials and Chemicals

1. Tier 1 Enterprise Use Buffer Requirements

Enterprise uses with relatively low external impacts, minimal emissions, and operations typically at a smaller scale are subject to the following buffer yard requirements.

Table 6.07-5: Tier I Enterprise Use Buffer Yard Requirements				
SCENARIO		BUFFER YARD REQUIREMENTS		
When the...	Adjoins a...	Type Required	Width (min.)	Installation Requirements
Access Drive / Storage	Residential Use or District	Tier I Type A (Figure 6-11)	25'	Minimum 6' tall wall or fence or a 3' tall earthmound PLUS a shrub hedge (D or E) facing commercial side PLUS Either a deciduous shade tree (A) planted every 30'- 40' O.C., a deciduous flowering tree (B) planted every 20'- 30' O.C., or an evergreen tree (C) planted every 20'- 30' O.C. OR a mix of tree types (A, B, or C)

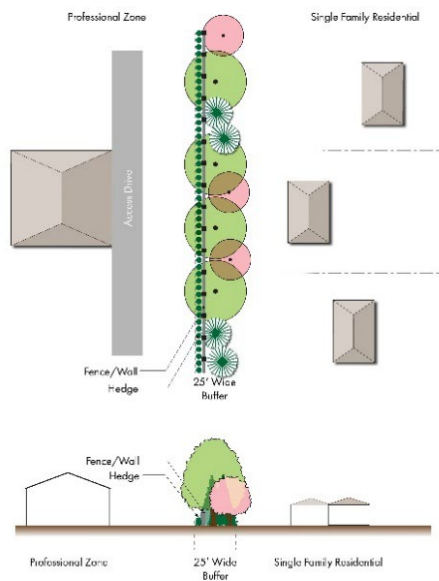


Figure 6-11: Tier I Enterprise Use

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

2. Tier II Enterprise Use Buffer Requirements

Enterprise uses with noticeable but manageable impacts, including vehicular and truck traffic, moderate noise, and larger building footprints, are subject to the following buffer yard requirements.

Table 6.07-6: Tier II Enterprise Use Buffer Yard Requirements				
SCENARIO		BUFFER YARD REQUIREMENTS		
When the...	Adjoins a...	Type Required	Width (min.)	Installation Requirements
Non Service, Non Storage Yards	Any Non-Enterprise Use or District	Tier II Buffer 'A' (Figure 6-12)	36'	6' tall earthen berm PLUS a double row of staggered planting of evergreen trees (C) planted every 15' O.C.
Service Yard (Tractor Trailer; Loading Docks)	Any Non-Residential District	Tier II Buffer 'A' (Figure 6-13)	36'	6' tall earthen berm PLUS a double row of staggered planting of evergreen trees (C) planted every 15' O.C.
	Any Residential District	Tier II Buffer 'B' (Figure 6-14)	75'	6' tall earthen berm PLUS a double row of staggered planting of evergreen trees (C) planted every 15' O.C. PLUS a mix of deciduous shade trees (A) planted every 30'- 40' O.C. and deciduous flowering trees (B) planted every 20'- 30' O.C.
Storage Yard	Any Non-Residential District	Tier II Buffer 'C' (Figure 6-15)	36'	A 6-foot solid wall or fence around storage yard PLUS evergreen shrub hedge (E) facing front yard only and/or street drive PLUS 36' wide, 6' tall earthen berm PLUS a double row of staggered planting of evergreen trees (C) planted every 15' O.C.
	Any Residential District	Tier II Buffer 'D' (Figure 6-16)	75'	A 6-foot solid wall or fence around storage yard PLUS evergreen shrub hedge (E) facing front yard only and/or street drive PLUS 36' wide, 6' tall earthen berm PLUS a double row of staggered planting of evergreen trees (C) planted every 15' O.C. PLUS A mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., evergreen trees (C) planted every 20'- 30' O.C.

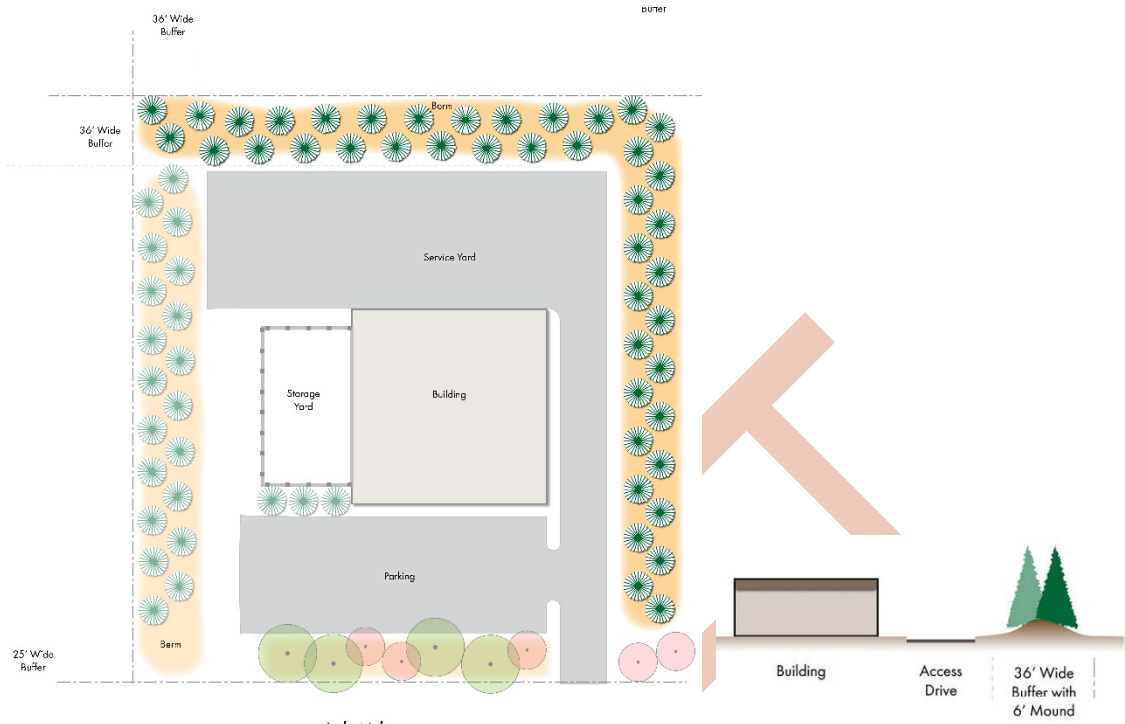


Figure 6-12: Tier II Enterprise Buffer 'A'



Figure 6-13 Tier II Enterprise Buffer 'B'

ARTICLE 6. LANDSCAPING AND BUFFERING
6.07. LANDSCAPE BUFFER REQUIREMENTS

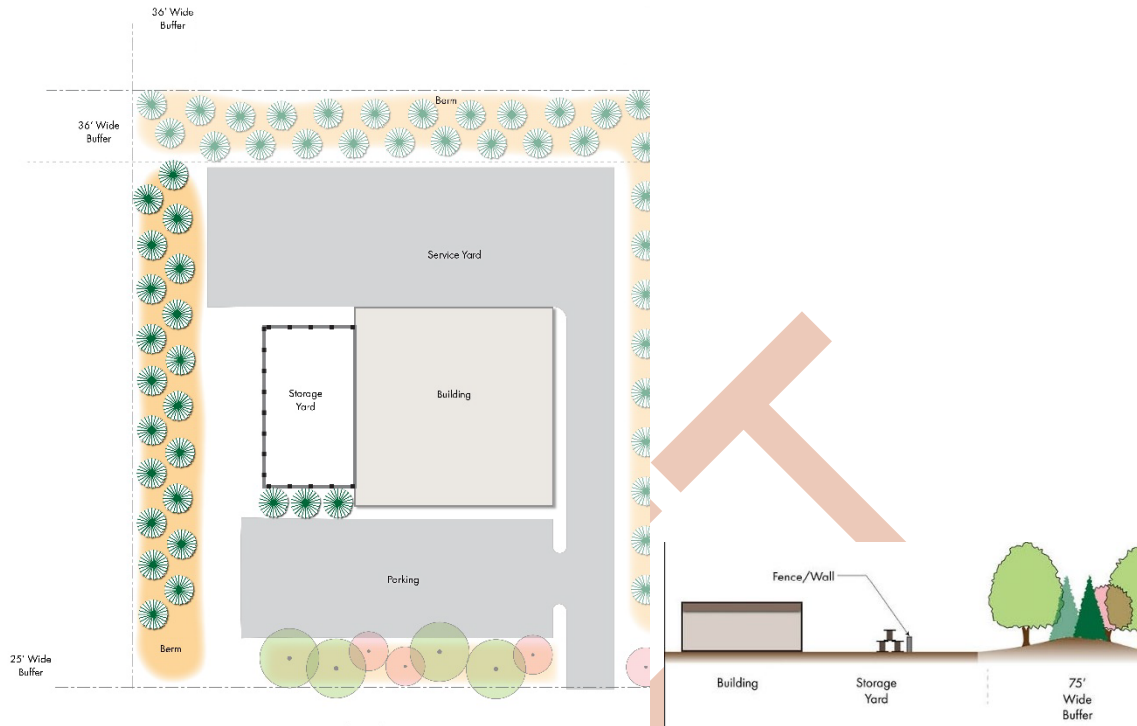


Figure 6-14: Tier II Enterprise Buffer 'C'

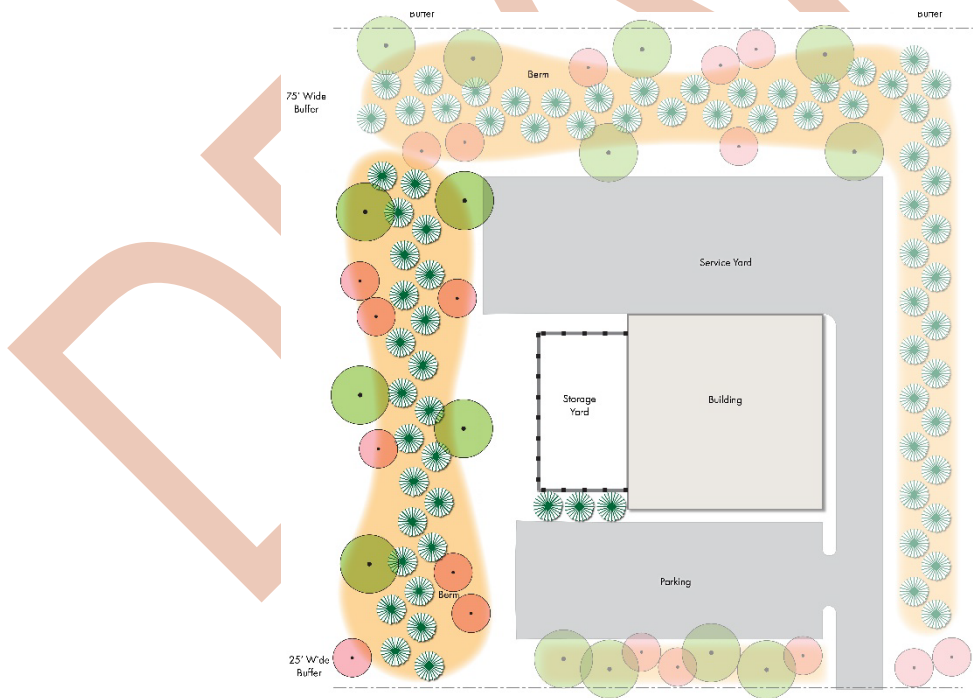


Figure 6-15: Tier II Enterprise Buffer 'D'

ARTICLE 6. LANDSCAPING AND BUFFERING
6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

3. Tier III Enterprise Use Buffer Requirements

Enterprise uses with the strongest off-site impacts, including heavy vehicular traffic, outdoor storage, emissions, extraction, or large-scale processing are subject to the following buffer yard requirements.

Table 6.07-7: Tier III Enterprise Use Buffer Yard Requirements				
SCENARIO		BUFFER YARD REQUIREMENTS		
When the...	Adjoins a...	Type Required	Width (min.)	Installation Requirements
Tier III Enterprise Use	Any District or Use or Right-of-Way (Public or Private)	Tier III Buffer 'A' (Figure 6-16)	75'	A 6-foot solid wall or fence PLUS a planting of continuous, staggered double row of evergreen trees (C) planted every 15' O.C. PLUS a mix of deciduous shade trees (A) planted every 30' - 40' O.C. and deciduous flowering trees (B) planted every 20' - 30' O.C.

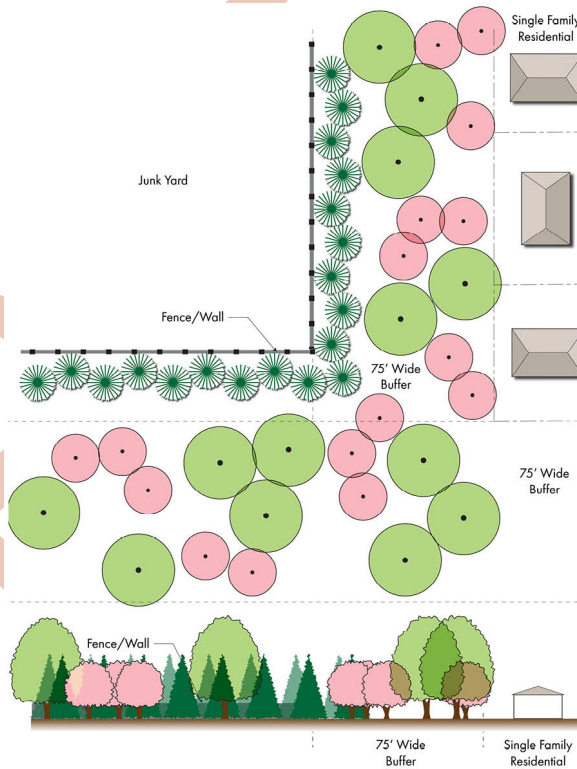


Figure 6-16: Tier III Enterprise Buffer 'A'

6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

A VUA is any paved area containing more than 1,500 square feet and/or used by two (2) or more vehicles for parking, loading/unloading, sales and/or service areas, or driving.

A. Perimeter Landscaping Requirements

A perimeter buffer shall be located between VUAs and any adjacent streets and adjacent properties excluding required sight clearances at driveways and ingress/egress locations. A VUA perimeter buffer shall not be required when a VUA is continuous to a required property perimeter buffer and the screening intent of this Article is met.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

Table 6.08-1: Vehicular Use Area (VUA) Buffer Yard Requirements	
Width (min.)	Installation Requirements
Commercial & Tier I Enterprise Uses (Figure 6-17)	
6'	A mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., evergreen trees (C) planted every 20'- 30' O.C., AND a continuous shrub hedge (D or E) planted every 3' O.C. (1 tree minimum)
Enterprise Tier II Uses (Figure 6-18)	
25'	A mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., evergreen trees (C) planted every 20'- 30' O.C., AND a continuous shrub hedge (D or E) planted every 3' O.C. (1 tree minimum) PLUS 3' tall earthen berm
Enterprise Tier III Uses (Figure 6-19)	
75'	A mix of deciduous shade trees (A) planted every 30'- 40' O.C., deciduous flowering trees (B) planted every 20'- 30' O.C., evergreen trees (C) planted every 20'- 30' O.C., AND a continuous shrub hedge (D or E) planted every 3' O.C. (1 tree minimum)
Note: The landscape buffer requirement plantings required by Section 6.07. Landscape Buffer Requirements may also count towards the VUA perimeter screening.	

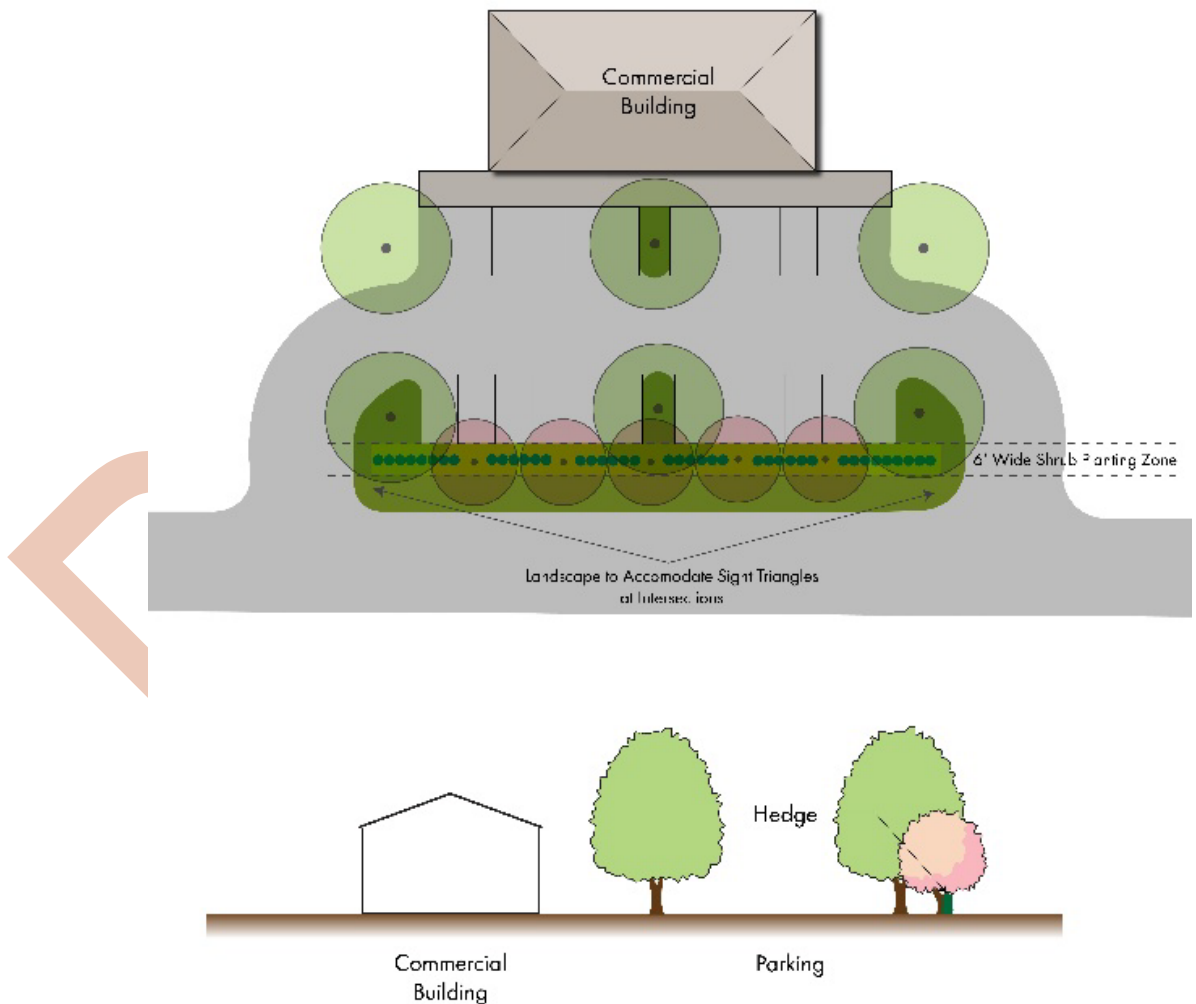


Figure 6-17: Commercial & Tier I Enterprise Use VUA Buffer Area

ARTICLE 6. LANDSCAPING AND BUFFERING
6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

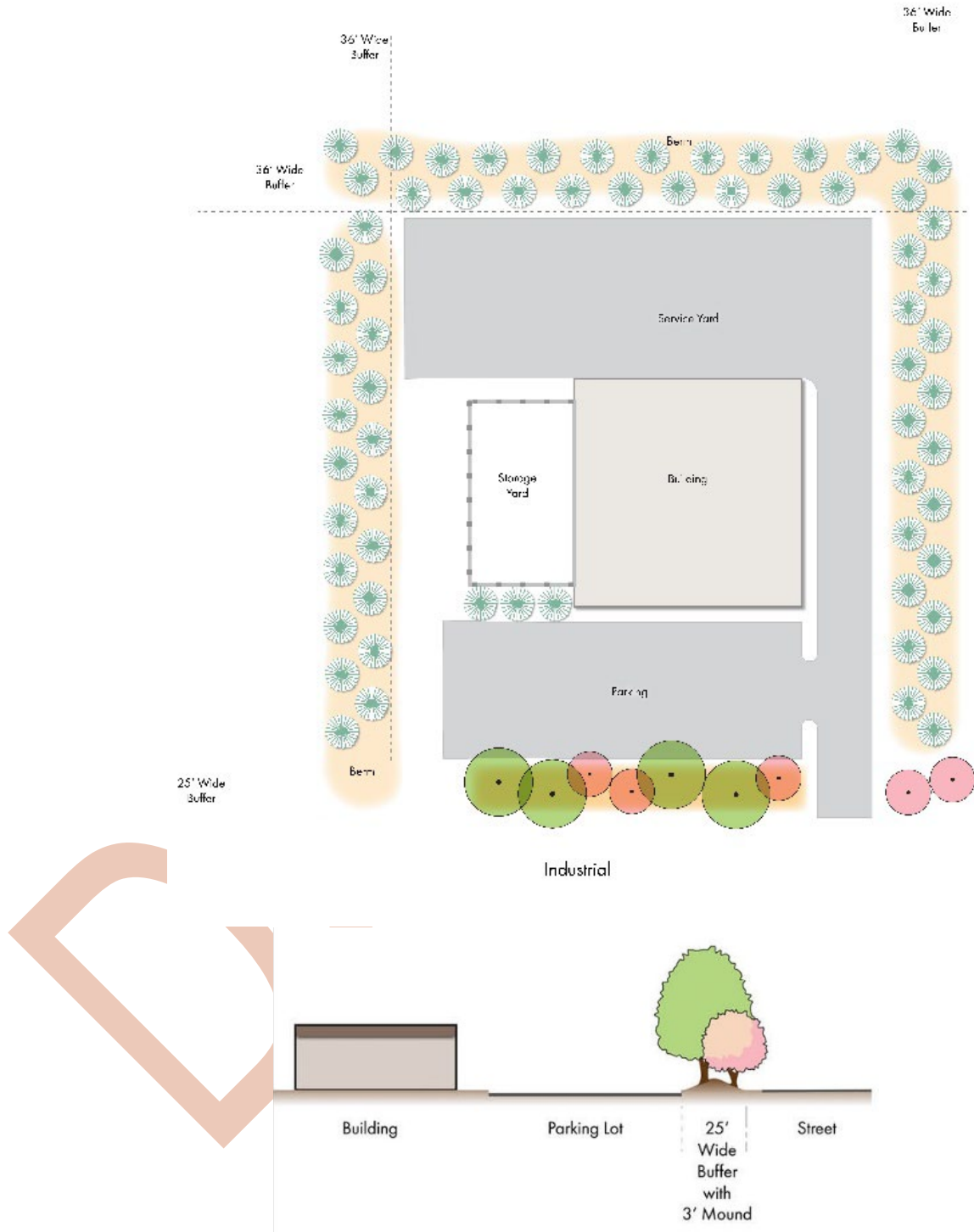


Figure 6-18: Tier II Enterprise Use VUA Buffer Area

ARTICLE 6. LANDSCAPING AND BUFFERING

6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

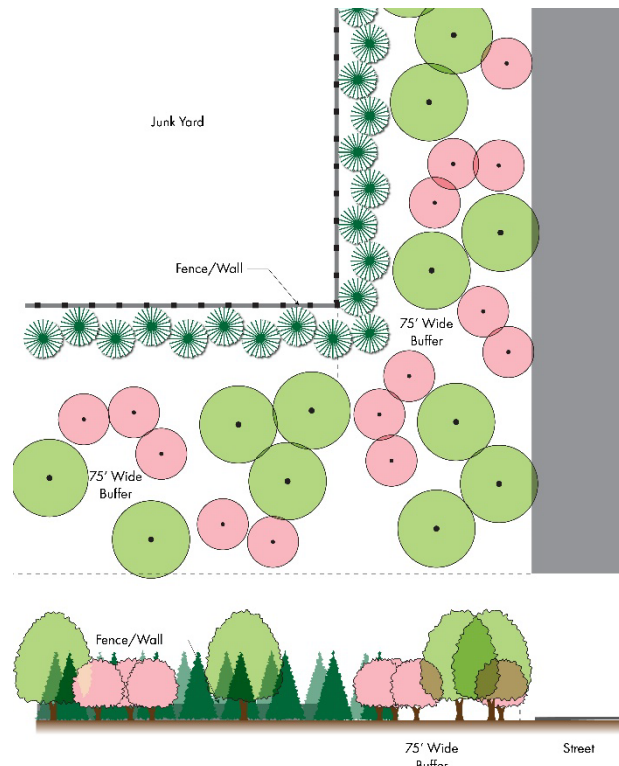


Figure 6-19: Tier III Enterprise Use VUA Buffer Area

B. Interior Landscaping Requirements

Interior landscape areas shall be provided within all VUAs to break up large impervious areas, decrease excessive temperature, allow for a greater distribution of tree canopy coverage and to provide the opportunity to capture parking lot stormwater runoff and retain greater amounts of stormwater on site through infiltration. Dimensional requirements have been established to ensure that interior landscape areas serve the intended goals and provide enough ground area to support required plant material. Interior landscape shall meet the following requirements:

Table 6.08-2: VUA Interior Landscaping Requirements		
# of Spaces	% of VUA	Installation Requirements
Less than 5 Parking Spaces	0%	n/a
6 – 20 Parking Spaces	5%	1 deciduous shade tree (A) or a deciduous flowering tree (B) * planted for every 250 sq. ft (1 tree for every 10 parking spaces) of interior landscaped area (1 tree minimum)
21+ Parking Spaces	15%	

1. Such landscaping shall be in addition to areas planned for setbacks or buffers.
2. A landscape area must have a planting area that is at least four (4) - six (6) feet wide and at least 100 square feet in size. It may be in the form of a strip planted with trees, or shrubs and grass including a pedestrian walk between parking aisles or may be appropriately spaced, planted islands, peninsulas or other green space.
3. A minimum of one (1) tree for every 10 parking spaces shall be provided (see Figure 6-20 below).
4. Plants may be no closer than 30 inches (30") to pavement in the VUA unless concrete wheel stops are used to prevent plant damage by cars.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.08. VEHICULAR USE AREA (VUA) LANDSCAPING REQUIREMENTS

5. Landscape areas shall be installed with a lower elevation than the adjacent pavement, using curb cuts or other methods to ensure that their pervious nature is incorporated into the strategy of draining and treating surface water from the parking lot.
6. Such area may be equally spaced within parking bays or grouped to provide more massive areas. Grouping may be encouraged to save large existing trees which will require greater area for root feeding and watering.
7. Placement of landscape features shall not obstruct the vision of driveways or pedestrians at critical locations, i.e., access points and crosswalks as established by [Section 4.04.B \(Traffic Visibility Across Corner Lots\)](#).
8. In parking facilities for less than 10 spaces the interior landscape island requirement may be met entirely through the perimeter screening requirement.
9. The relocation of interior landscape areas shall be permitted to other areas on site for VUAs used for storage, loading docks or their associated maneuvering areas in industrial zones, etc.

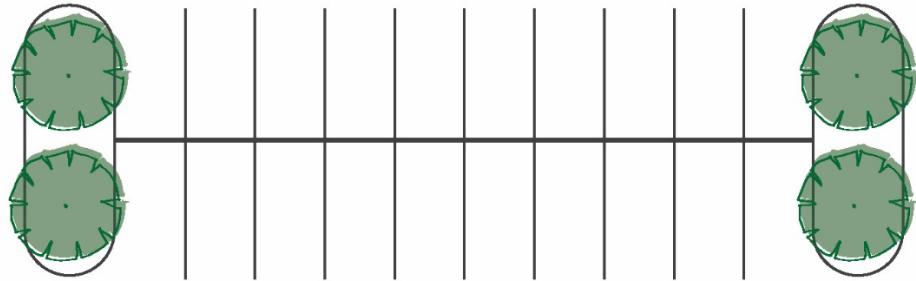


Figure 6-20: Illustration of one (1) tree for every 10 parking spaces provided

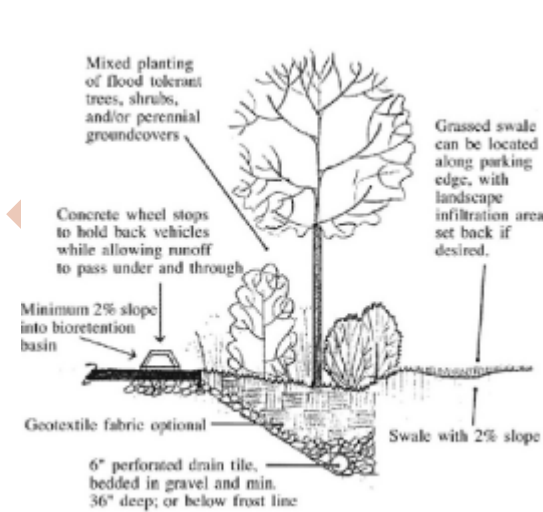


Figure 6-21

Cross section view of a parking lot edge with a biofiltration strip and optional subsurface runoff collection

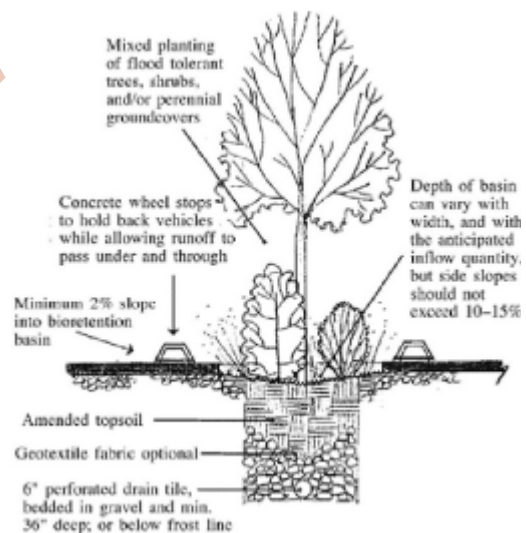


Figure 6-22

Cross section view of parking lot "Wetland Island" for bio-retention with an eight (8) foot width.

6.09. LANDSCAPE PLAN SUBMISSION REQUIREMENTS

A. Plan Content

The landscape plan shall be drawn to a readable scale no smaller than 1" = 30' and shall be submitted with the following information:

1. Property lines for project area
2. North arrow
3. Scale bar
4. Easements
5. All adjacent property owners (names and addresses), land zone/uses and rights-of-way
6. Location of all existing and proposed structures
7. Location of all vehicular use areas - driveways, parking areas, loading areas and adjacent offsite roads and streets
8. Location of dumpster and trash facilities
9. Location of existing trees and vegetation to remain
10. Location of underground and overhead utility lines and utility easements
11. Proposed topographic contour lines or spot elevations where elevation changes occur
12. Dumpster screening details
13. Location of all proposed plant material keyed to a plant schedule
14. Plant schedule that shall contain information as follows:
 - a. Existing and proposed plants - common and botanical name
 - b. Plant Size (height, caliper, or container size)
 - c. Plant Quantity
 - d. Specific planting notes

Key	Botanical Name	Common Name	Quantity	Size	Height	Comments

Figure 6-23: Example Plant Schedule to be included in Landscape Plan

15. Labeled areas for sodding and seeding
16. Statistics that contain total square footages of parking/drive areas and interior parking lot landscaping

Landscape Statistics (Minimum Statistics Required)		
Zoning of Subject Site:		
Standard	Metric Provided	Unit of Measurement
Vehicular Use Area		Square feet
Interior Landscape Area Required		Square feet
Interior Landscape Area Provided		Square feet
# of Interior Trees Required		# of Trees
# of Interior Trees Provided		# of Trees

Figure 6-24: Example schedule of parking/drive area and interior parking lot landscaping statistics

17. An attached statement certifying that the property owner shall conform to the requirements on the plan. Attached document shall be signed/dated by the owner(s) witness and read as follows:
 - a. I do hereby certify that this landscape plan has been reviewed by me/us and do

adopt this plan and all information contained herein as the plan for minimum landscape development for this project. I do further certify that all plant material will be perpetually maintained to meet the requirements of the Landscape Ordinance unless an approval to amend the landscape is granted by the Planning and Community Development Department.

B. Building Permit

1. A building permit shall not be issued until the required landscape plans have been approved. A Certificate of occupancy shall not be issued unless either:
 - a. All landscaping has been installed and accepted by the Building Inspector, or
 - b. A full cash bond or irrevocable letter of credit (on an approved bank) has been posted in an amount equal to the cost of contracting the purchase and installation of the landscaping, plus 25%.
2. The owner shall have up to 90 days, as determined by the Department of Planning and Community Development to install the required landscaping. If, after the established time frame, the landscaping is not installed, the City of Frankfort will contract the landscaping using the posted bond. Two one-month extensions of the bond may be allowed beyond the established deadline if it is determined that planting will be detrimental to the plant material.
3. When street trees are required, in accordance with the subdivision of property, a full cash bond or irrevocable letter of credit in the amount of 125% of the cost of contracting the purchase and installation of the landscaping shall be required to be posted by the developer. If the developer chooses, this bond or letter of credit may be separate from that surety posted for all other public improvements. This bond, or letter of credit, shall be posted at the same time as the surety is posted for other public improvements and shall be posted for a time frame of one (1) year.
4. If at the end of the one (1) year time frame, all of the required landscaping is not in place, a second bond or letter of credit may be posted for the remaining cost of landscaping and installation plus 25% if it is determined by the Planning and Community Development that the developer is make substantial progress in installing the trees as required.

C. Variances

If the property owner wishes to request a variance of the Landscape Requirements of this article, a variance application shall be filed with the Board of Zoning Adjustments per [Section 13.06.C. Variances](#).

1. Review Criteria

Variances may be granted only if one of the following are applicable. Findings of Fact must be made by the Board of Zoning Adjustments prior to granting any variance. In the absence of a finding, no variance can be granted.

- a. The need for the variance is due to circumstances typical of the land in the general vicinity of the site or in the same zone.
- b. The strict application of the Landscape Ordinance would deprive the applicant of a reasonable use of the land or create an unnecessary hardship.
- c. Circumstances necessitating a variance are not the result of an action by the applicant subsequent to the passage of the Landscape Ordinance.
- d. Adherence to the Landscape Ordinance will adversely affect the health, safety and welfare of the public or will adversely alter the general character of the general vicinity.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.10. PLANT LISTS

D. Alternative Compliance

The Administrator may approve a landscape plan with alternative compliance. In doing so, the Administrator shall consider the following criteria in determining the appropriateness of alternative compliance:

1. Infill Sites

All new development on vacant or underutilized properties within developed areas of Frankfort and Franklin County where landscape requirements are not possible due to site limitations is eligible for alternative compliance approval.

- a. For topographic reasons, a fence or wall or other required screening approach will not screen activities from an abutting property as required by this section.

2. Historic Sites

All new development within a historic district or impacting a "historic structure" (see definition) where landscape requirements are not possible due to site limitations is eligible for alternative compliance approval as long as the proposed development will not preclude the structure/site's continued designation as an historic site/structure.

3. Natural Buffers

The existing topography or vegetation achieves the purpose of this section.

E. Conflicting Requirements

In stances of conflicting or overlapping requirements for landscaping in a given development, the standards which require the greatest volume of landscaping shall govern.

F. Modifications

Upon recommendation by a Landscape Architect, the Administrator may administratively approve requests for minor modifications to any approved landscape plan, such as changes in plant materials, plant locations, or species, provided those changes comply with the requirements of this Article and do not material alter the appearance of the site.

6.10. PLANT LISTS

A. Shade Trees

Tree that are hardy in zones 6 – 7 are deciduous and reach a height greater than 30 feet. Please note that this is not a comprehensive or all-inclusive list. Other trees may be approved by the Arborist. Specific site conditions shall be assessed for the best species selections.

Table 6.10-1: Plant List A – Shade Trees		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
America Beech	Fagus Grandifolia	
Basswood	Tilia americana	
Black Gum	Nyssa sylvatica	
Black Locust **	Robinia pseudoacacia	
Bur Oak	Quercus macrocarpa	
Chinkapin Oak	Quercus muchlenbergii	
English Oak*	Quercus robur	
European Beech*	Fagus Sylvatica	
Ginkgo*	Ginkgo biloba (male only)	Autumn Gold Fastigiata Sentry
Hickory**	Carya species	
Honeylocust (common)**	Gleditsia triacanthos	
Horse Chestnut **	Aesculus species	
Japanese Pagoda Tree*	Sophora Japonica	Regent
Japanese Zelkova*	Zelkova serrata	

Table 6.10-1: Plant List A – Shade Trees		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Kentucky Coffeetree (female) **	Gymnocledus dioicus	
Kentucky Coffeetree	Gymnocladus dioicus	
Linden or Basswood **	Tilia americana	
London Plane Tree*	Platanus acerifolia	
Red Maple	Acer rubrum	Autumn Flame October Glory Red Sunset
Red Oak	Quercus rubra	
London Plane Tree*	Platanus acerifolia	
Shingle Oak	Quercus imbricaria	
Shudmard Oak	Quercus shumardii	
Silver Linden*	Tilia tomentosa	
Sourwood	Oxydendron arboreum	
Sugar Maple	Acer saccharum	
Sweetgum	Liquidambar styraciflua	
Thornless Honey Locust	Gleditsia triacanthos	Shademaster Skyline Sundial
Tulip Poplar	Liriodendron tulipifera	
Walnut**	Juglans species	
Willow Oak	Quercus phellos	
White Oak	Quercus alba	
Yellowwood	Cladrastis kentukea	
* Allowed non-native trees ** Appropriate when planted within side and rear buffers only and shall not be located along parking and sidewalks. Note: Trees near powerlines – the Frankfort Plant Board has provided a list of trees that are generally acceptable under or near powerlines – please refer to their website. (http://fpb.cc/tree-id/)		

B. Flowering Trees

Tree that are hardy in zones 6 – 7 are deciduous and reach a height less than 30 feet. These trees survive better in shady, sheltered conditions and would not be acceptable unless planted on the north or east of a building. Please note that this is not a comprehensive or all-inclusive list. Other trees may be approved by the Arborist. Specific site conditions shall be assessed for the best specie selections. For a list of trees that are generally acceptable under or near powerlines refer to: <http://fpb.cc/tree-id/>

Table 6.10-2: Plant List B – Flowering Trees		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Crabapple*	Malus varieties	Bob White Sargeant Snowdrift White Angel
Eastern Redbud	Cercis canadensis	Flame Forest Pansy Royal
Dogwood	Cornus florida Cornus kousa* Cornus mas	
Downy Serviceberry	Amelanchier arborea	
Fringe Tree	Chionanthus virginicus	
Hawthorne	Winter King Crataegus viridis Washington Crataegus phaenopyrum	
Sargent Cherry*	Prunus sargentii	Columnaris Kwanzan
Saucer Magnolia*	Magnolia soulangiana	
Serviceberry	Amelanchier x grandiflora	Autumn Brilliance Arborea Laevis

ARTICLE 6. LANDSCAPING AND BUFFERING

6.10. PLANT LISTS

Star Magnolia*	<i>Magnolia stellata</i>	
*Allowed non-native trees		

C. Evergreen Trees

Tree that are hardy in zones 6 – 7 are evergreen, can reach a height greater than 30 feet and if not limbed up can create a screen from the ground level up. Please note that this is not a comprehensive or all-inclusive list. Other trees may be approved by the Arborist. Specific site conditions shall be assessed for the best specie selections.

Table 6.10-3: Plant List C – Evergreen Trees		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
American Holly	<i>Ilex opaca</i>	Xanthocarpa
Arborvitae	Thuja	Green Giant Spring Grove
Eastern Hemlock	<i>Tsuga canadensis</i>	
Eastern Red Cedar	<i>Juniperus virginiana</i>	
Green Spruce	<i>Picea pungens</i>	
Norway Spruce*	<i>Picea abies</i>	
Southern Magnolia	<i>Magnolia grandiflora</i>	Brackens Brown
Sweetbay Magnolia	<i>Magnolia virginiana</i>	
White Fir	<i>Abies concolor</i>	
White Pine	<i>Pinus strobus</i>	
Eastern White Cedar	<i>Thuja occidentalis</i>	
*Allowed non-native trees		

D. Deciduous Shrubs

Perennial woody plants that grow at least 3 feet in height, are tolerant in zones 6 –7 and are deciduous. Please note that this is not a comprehensive or all-inclusive list. Other shrubs may be approved by the Arborist. Specific site conditions shall be assessed for the best specie selections.

Table 6.10-4: Plant List D – Deciduous Shrubs		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Beautyberry	<i>Callicarpa american</i>	
Black Chokeberry	<i>Aronia melanocarpa</i>	
Bottlebrush Buckeye	<i>Aesculus parviflora</i>	
Bush Honeysuckle	<i>Diervilla lonicera</i>	
Elderberry	<i>Sambucus canadensis</i>	
Forsythia Species		
Fragrant Sumac	<i>Rhus aromatica</i>	
Glossy Abelia*	<i>Abelia grandiflora</i>	
Gray Dogwood	<i>Cornus racemosa</i>	
Hydrangea Species		
Large Fothergilla	<i>Fothergilla major</i>	
Miss Kim Lilac	<i>Syringa pubescens</i> subsp. <i>patula</i> 'Miss Kim'	
New Jersey Tea	<i>Ceanothus americanus</i>	
Ninebark (green foliage)	<i>Physocarpus opulifolius</i>	
Northern Bayberry	<i>Myrica pensylvanica</i>	
Northern Honeysuckle	<i>Diervilla lonicera</i>	Kodiak Cultivars
Quince*	<i>Chaenomeles speciosa</i>	
Red Chokeberry	<i>Aronia arbutifolia</i>	
Red Osier Dogwood	<i>Cornus sericea</i>	
Redosier Dogwood	<i>Cornus sericea</i>	
Shrub Cinquefoil	<i>Potentilla fruticosa</i>	
Spirea Species*		
St. Johns Wort	<i>Hypericum frondosum</i>	
Sweet Shrub	<i>Calycanthus floridus</i>	
Sweetspire	<i>Itea virginica</i>	
Vernal Witchhazel	<i>Hamamelis vernalis</i>	
Viburnum Species (Native and Non-Native)		
Witch Hazel	<i>Hamamelis virginiana</i>	

*Allowed non-native trees

E. Evergreen Shrubs

Perennial, woody plants that grow at least 3 feet in height are tolerant in zones 6 –7 and are Evergreen. Please note that this is not a comprehensive or all-inclusive list. Other shrubs may be approved by the Arborist. Specific site conditions shall be assessed for the best specie selections.

Table 6.10-5: Plant List E – Evergreen Shrubs		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Anglojap Yew*	Taxus x media	Brownii Densiformis Hicksii Wardii
Blue Holly*	Ilex x meserveae	Blue Angel Blue Prince Blue Princess
Chinese Juniper*	Juniperis chinensis	Hetzii Keteleeri Mint Julep Robusta Green
Japanese Holly*	Ilex crenata	Microphylla Rotundifolia
Japanese Yew*	Taxus cuspidata	Capitata Intermedia Nana
Korean Boxwood*	Buxus microphylla koreana	
Leatherleaf Viburnum	Viburnum rhytidophyllum	
Mugho Pine*	Pinus Mugho	
Spreading Yew*	Taxus baccata	

*Allowed non-native trees

F. Meadow / Pollinator Garden Grasses and Wildflowers

Native grasses and wildflowers that absorb stormwater, attract wildlife, and require less maintenance once established. The following list is not extensive and other native, non-invasive plants can be used.

Table 6.10-6: Plant List F – Meadow / Pollinator Garden Grasses and Wildflowers		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Allium Species		
Aster Species		
Beardtongue	Penstemon digitalis	
Bee Balm Species		
Black- & Brown-eyed Susan	Rudbeckia fulgida Rudbeckia hirta Rudbeckia triloba	
Blanket Flower Species		
Blazing Star Species		
Broomsedge	Andropogon virginicus	
Butterfly weed	Asclepias tuberosa	
Clover Species		
Common yarrow	Achillea millefolium	
Common milkweed	Asclepias syriaca	
Coneflower Species		
Coreopsis Species		
Culver's root	Veronicastrum virginicum	
Eastern beebalm	Monarda bradburiana	
Garden phlox	Phlox paniculata 'Jeana'	
Goldenrod Species		
Grass-leaved goldenrod	Solidago graminifolia	
Hyssop-leaf thoroughwort	Eupatorium hyssopifolium	
Indiangrass	Sorghastrum nutans	
Ironweed Species		
Joe Pye Weed Species		

ARTICLE 6. LANDSCAPING AND BUFFERING
6.10. PLANT LISTS

Little bluestem	Schizachyrium scoparium	
Meadow Rue Species		
Milkweed Species		
Mountain Mint Species		
New England aster	Aster novae-angliae	
Prairie coneflower	Ratibita pinnata	
Purple coneflower	Echinacea purpurea	
Short-toothed mountain mint	Pycnanthemum muticum	
Sunflower Species		
Vervain Species		
Note: If mature trees and quality natural vegetation exist on site prior to development, they may be accepted by the Planning and Community Development Department.		

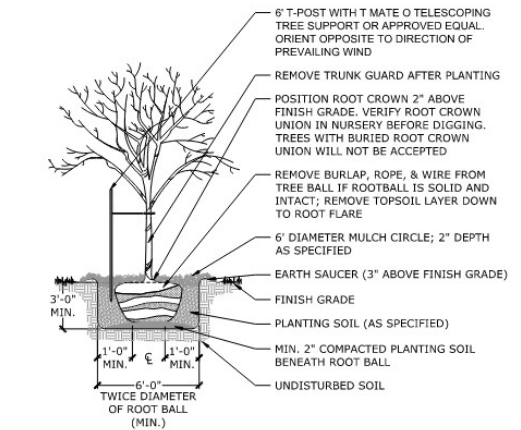
G. Plant List G – Unacceptable Plants

Trees and shrubs that are not hardy in zones 6 – 7 may have excessive fruits, leaf or limb drop, may interfere with underground utilities, attract excessive insects or are weak wooded, disease prone, pollution intolerant, noxious or require excessive maintenance. Please note that this is not a comprehensive or all-inclusive list. Unacceptable plant species may be added to the list by the Arborist or Landscape Architect.

Table 6.10-7: Plant List G – Unacceptable Plants		
COMMON NAME	SCIENTIFIC NAME	CULTIVARS
Apple	Malus pummila	
Ash genus	Fraxinus	
Box Elder	Acer negundo	
Burning Bush	Euonymus alata Euonymus compacta	
Callery Pear	Pyrus calleryana	
Chinese Holly	Ilex cornuta	
Devil's Walking Stick	Aralia spinosa	
Elms (except Chinese & American)	Ulmus species	
English Ivy		
Ginkgo (female)	Ginkgo biloba	
Golden Raintree	Koelreutaria paniculata	
Mimosa	Albizia julibrissin	
Norway Maple	Acer platanoides Crimson King Summershade	
Osage Orange	Maclura pomifera	
Mulberry	Morus species	
Pin Oak	Quercus palustris Crown Rite Sovereign	
Poplars	Populus species	
Privet	Ligustrum species	
Silver Maple	Acer saccharinum	
Sycamore	Plantanus occidentalis	
Tartarian Honeysuckle	Lonicera tartarica	
Tree of Heaven	Ailanthus altissima	
Weeping Willow	Salix babylonica	
Weigela	Weigela florida	
Winter Creeper	Euonymus fortune	
Wintergreen Barberry	Berberis julianae	
Note: If mature trees and quality natural vegetation exist on site prior to development, they may be accepted by the Planning and Community Development Department.		

6.11. PLANTING INSTALLATION DETAILS

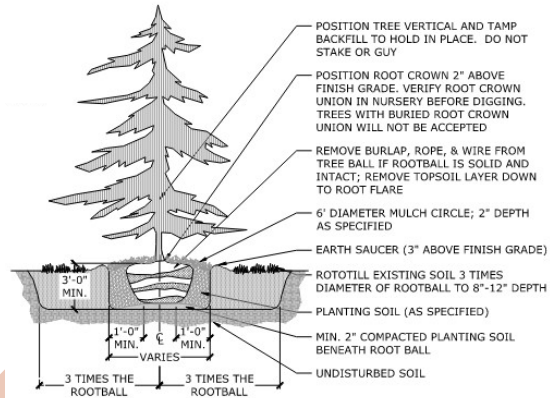
DECIDUOUS TREE PLANTING DETAIL



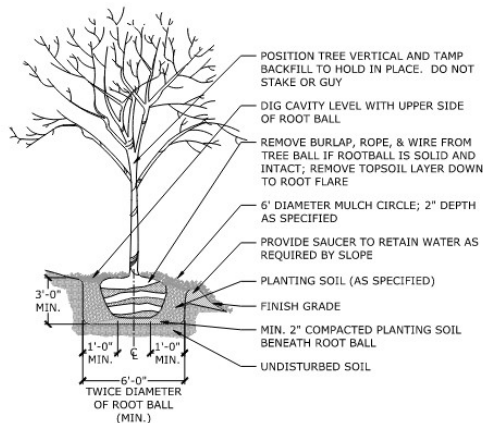
NOTES:

1. EXCAVATE A PIT FOR TREE WHICH IS THREE TIMES THE DIAMETER OF THE ROOTBALL AND THE SAME DEPTH-NO DEEPER. HANDLE THE TREE BY THE ROOTBALL, NOT THE TRUNK. BE SURE THE ROOTBALL RESTS ON SOLID GROUND.
2. BACKFILL WITH PLANTING SOIL.
3. SATURATE THE ENTIRE BACKFILL SOIL WITH WATER. ADD MORE SOIL IF NEEDED TO COMPENSATE FOR SETTLING.
4. MULCH: COVER PLANTING SOIL WITH 2 INCHES OF MULCH. LEAVE GAP NEAR THE TRUNK. REPLACE AS NEEDED.
5. PRUNE ONLY BROKEN OR BADLY DEFORMED BRANCHES TO RETAIN SHAPE OF THE SPECIES. PRUNE OUT SECONDARY AND COMPETING GROWTH. DO NOT SHEAR. DO NOT CUT LEADER. BEGIN A REGULAR PRUNING PROGRAM THE SECOND YEAR AFTER PLANTING.
6. CHAFING GUARDS: REMOVE GUARDS AS SOON AS THE TREE CAN STAND ALONE ABOUT 3 MONTHS OR LONGER IF NEEDED.

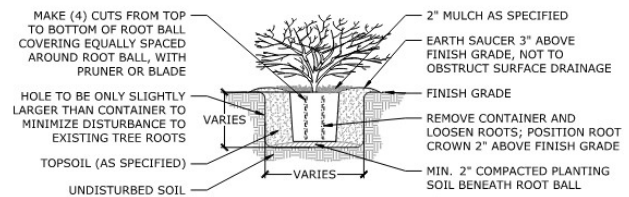
EVERGREEN TREE PLANTING DETAIL



DECIDUOUS TREE ON SLOPE PLANTING DETAIL



CONTAINER SHRUB PLANTING DETAIL



6.12. FIELD INSPECTION GUIDELINES AND VERIFICATION OF CONFORMANCE.

Prior to final approval of a new development project, the requirements of the Landscape Ordinance must have been met. The following guidelines are for the benefit of the Inspector from the Planning and Community Development Department to aid in checking the requirements of the approved landscape plan. In addition to these guidelines, the Inspector shall use the "Inspection Guides for Landscape Planting", published by the American Association of State Highway Officials. A copy of this publication shall be on file at the Planning and Community Development Department. "The American Standard for Nursery Stock", published by the American Association for Nurserymen shall be used in checking plant material and quality. This publication will also be on file at the Planning and Community Development Department.

- A. Verify the location and area requirements for all interior landscaping so that conformance to Vehicular Use area requirements will be met.

ARTICLE 6. LANDSCAPING AND BUFFERING

6.13. MAINTENANCE

- B.** Check dumpster screening requirements and determine if screening materials meet the minimum construction requirements as specified on the approved landscape plan.
- C.** Check plant material quantities, species, sizes and locations to determine conformance to approved landscape plan.
- D.** Check plant materials character and health to verify that they meet AAN standards for nursery stock.
- E.** Verify that perimeter landscape requirements have been met and determine if there are any encroachments into landscape easements.
- F.** Use the various check lists that are provided in the “Inspection Guide for Landscape Planting”.
- G.** Upon completion of inspection, file a report with the project owner. If a re-inspection is necessary, schedule after adequate time has been given for corrections to be made.
- H.** Place a one-year inspection into inspection schedule.

6.13. MAINTENANCE

- A.** It will be the responsibility of the property owner to maintain all landscape areas and associated plant material required under these regulations. It is the responsibility of the property owner to:
 - 1.** Keep plants alive by regularly watering. Watering and rainfall shall supply a minimum of one inch of water per week. During periods of warmer temperatures (i.e., late spring and summer), plants will require more water. Young or new plants require more moisture at the soil surface to help promote root establishment; therefore, watering more frequently is important.
 - 2.** Keep plants healthy by regularly pruning and mulching. Well-composted, double shredded hardwood mulch shall be applied to plant beds annually, in the spring.
 - 3.** Prevent invasive infestation by regularly weeding (removing invasive plants) the plant beds.
 - 4.** Prevent insect or disease infestation.
- B.** Two (2) to three (3) years following construction, field verification of plant establishment is needed by an authorized inspector to ensure the landscape located within the right-of-way or that is part of an approved development/landscape plan is performing as intended.
- C.** All unhealthy or dead plant material shall be replaced within one year, or by the next planting period, whichever comes first, while other defective plant material shall be replaced or repaired within three months.
- D.** For information on how to maintain meadows and pollinator gardens, refer to the Mid-Atlantic meadow guidebook: https://xerces.org/sites/default/files/publications/19-052_MidAtlantic_Meadow_guidelines_web.pdf.