

ARTICLE 4. DIMENSIONAL AND DESIGN STANDARDS

4.01. GENERAL DEVELOPMENT STANDARDS

- A. Except as hereinafter provided in this Article, no building or structure shall be erected or enlarged on a lot unless such building, structure or enlargement conforms with the area regulations of the zone in which it is located.
- B. No recorded lot shall be divided into two (2) or more lots unless such division results in the creation of lots which conform to all zoning and subdivision regulations.

4.02. DIMENSIONAL STANDARDS

A. Rural and Natural Landscape Districts

The dimensional standards table in this section identifies the specific dimensional standards that apply to each Rural and Natural Landscape District.

Table 4.02-1: Rural and Natural Landscape District Dimensional Standards		
LOT STANDARD	FNL, Farms & Natural Landscape	RR, Residential Rural
LOT SIZE & DIMENSIONS		
Lot Size (min.)	10 acres	2.5 acres
Lot Frontage (min.)	200'	100'
SETBACKS		
FRONT YARD		
From Right-of-Way	50'	35'
SIDE YARD		
Side Yard (min)	25'	10'
Side Yard (Street Facing)	50'	35'
REAR YARD		
Rear Yard Setback	25'	40'
BUILDING MASSING & LOT COVERAGE		
Building Height (max)	35'	
Building Coverage (max)	-	10%

B. Low-Density and Traditional Residential Districts

The dimensional standards table in this section identifies the specific dimensional standards that apply to each RL, Residential Low-Density and RT, Residential Traditional District.

Table 4.02-2: Low-Density and Traditional Residential District Dimensional Standards		
LOT STANDARD	RL, Residential Low-Density	RT, Residential Traditional
LOT SIZE & DIMENSIONS		
Lot Size (min.)	9,000 sq. ft.	4,000 sq. ft. or 80% of context
Lot Frontage (min.)	65'	Lesser of 40' or 80% of context
SETBACKS		
FRONT YARD		
Front Yard (min)	Greater of 20' or 80% of context	Greater of 0' or 80% of context
Front Yard (max)	None or 120% of context	Greater of 10' or 120% of context
Street Facing Garage Door	30'	20'
SIDE YARD		
Side Yard (min)	6'	Greater of 0' or 80% of context
Side Yard (max)	-	Greater of 10' or 120% of context
REAR YARD		
Rear Yard Setback (min)	25'	Lesser of 5' or 80% of context
BUILDING MASSING & LOT COVERAGE		
Building Height (max.)	35'	Greater of 35' or 120% of context
Building Coverage (max.)	25%	40%
Impervious Surface Coverage	45%	65%

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4.02. DIMENSIONAL STANDARDS

C. Residential, Flex and Residential, Mixed-Density Districts

Table 4.02-3: Residential, Flex and Residential Mixed-Density District Dimensional Standards					
LOT STANDARD	RF, Residential Flex		RM, Residential Multi-Family		
	RF-U	RF-S; RF-R	RM-U	RM-S	RM-R
LOT SIZE & DIMENSIONS (MIN)					
Lot Size (min.)	-	5,000 sq. ft.	-	6,000 sq. ft.	
Lot Frontage (min.)	-	-	-	50'	
SETBACKS					
FRONT YARD					
Front Yard (min)	5' or 80% of context	Greater of 10' or 80% of context-	5' or 80% of context	15'	15'
Front Yard (max)	Greater of 15' or 80% of context	Greater of 15' or 80% of context	Greater of 15' or 80% of context	Greater of 15' or 80% of context	Greater of 15' or 80% of context
Street Facing Garage Door (min)	10' or 80% of context	20'	Greater of 0' or 80% of context	20'	25'
SIDE YARD					
Side Yard (min)	Greater of 0' or 80% of context	6'	Greater of 0' or 80% of context	6'	
REAR YARD					
Rear Yard Setback	Lesser of 5' or 80% of context	15'	Lesser of 5' or 80% of context	20'	
BUILDING MASSING & LOT COVERAGE					
Building Height (max.)	Greater of 40' of 120% of context	Greater of 40' of 120% of context	Greater of 40' or 120% of context	Greater of 40' of 120% of context	
Building Coverage (max.)	60%	40%	70%	50%	40%
Impervious Surface Coverage	85%	65%	90%	75%	65%

D. Mixed-Commercial Districts

Table 4.02-4: Mixed-Commercial District Dimensional Standards									
LOT STANDARD	MCL, Mixed-Commercial, Local			MCC, Mixed-Commercial, Community			MCR, Mixed-Commercial, Regional		
	-U	-S	-R	-U	-S	-R	-U	-S	-R
LOT SIZE & DIMENSIONS									
Lot Size (min.)	-			-			-		
Lot Frontage (min.)	75'			-			65'		
SETBACKS									
Front Yard (min)	20'			20'			30'		
Side Yard (min)	10'			5'			-		
Rear Yard (min)	20'			5'			-		
BUILDING MASSING & LOT COVERAGE									
Building Height	35'			75'			-		
Building Coverage	80%	50%	40%	90%	50%	40%	80%	40%	40%
Impervious Surface Coverage	100%	85%	80%	100%	85%	80%	95%	85%	80%

E. Enterprise Districts

Table 4.02-5: Enterprise District Dimensional Standards						
LOT STANDARD	EE, Enterprise-Employment			EG, Enterprise-General		
	-U	-S	-R	-U	-S	-R
LOT SIZE & DIMENSIONS (MIN)						
Lot Size	-			20,000 sq. ft.		
Lot Frontage	-			100'		
SETBACKS						
Front Yard (min)	15'			40'		
Side Yard (min)	12'			12'		
Rear Yard (min)	20'			20'		
BUILDING MASSING & LOT COVERAGE						
Building Height	50'			50'		

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4.03. MEASUREMENTS, COMPUTATIONS, AND EXCEPTIONS

Building Coverage	80%	50%	40%	80%	60%	50%
Impervious Surface Coverage	95%	85%	80%	95%	90%	80%

4.03. MEASUREMENTS, COMPUTATIONS, AND EXCEPTIONS

A. Percentages and Fractions

When a measurement results in a fractional number or percentage, any fraction or percentage of less than 0.5 shall be rounded down to the next lower whole number, and any fraction equal to or more than 0.5 shall be rounded up to the next higher whole number.

B. Distance Measurements

Unless otherwise expressly stated, distances specified in these regulations are to be measured in a straight line without regard to intervening structures or objects, joining those points at the closest points.

C. Lot Measurement

1. Lot area shall be calculated in accordance with the Frankfort–Franklin County Subdivision Regulations and shall include the horizontal surface area within the recorded lot boundaries
2. For panhandle lots, the area of the access stem or panhandle portion shall not be included in the calculation of minimum required lot area, in accordance with the Subdivision Regulations.
3. No recorded lot shall be subdivided, re-subdivided, or otherwise divided unless the resulting lots comply with all applicable provisions of these Zoning Regulations and the Frankfort–Franklin County Subdivision Regulations.

D. Lot Frontage and Lot Width Measurements

1. Lot frontage shall be measured in accordance with the Frankfort–Franklin County Subdivision Regulations as the horizontal distance between side lot lines along the front lot line.
2. For panhandle lots, lot frontage shall be measured at the required building setback line, consistent with the Subdivision Regulations.
3. Minimum lot width requirements shall be satisfied at the required building setback line unless otherwise expressly provided in the Subdivision Regulations or these Zoning Regulations.

E. Setbacks and Yards

1. Measurements

Setbacks refer to the unobstructed, unoccupied open area between the furthestmost projection of a structure and the property line of the lot on which the structure is located. Setbacks shall not contain any structure, except when in conformance with these zoning regulations. (See [Section 4.03.E.2. Yard Projections](#) below.

2. Yard Projections

The following are permitted obstructions within the required yards provided they are so located that natural light and ventilation are not materially obstructed from the main building or any adjoining property.

Table 4.03-1: Projections Permitted in Required Yards	
PROJECTION	PROJECTION ALLOWED (MAXIMUM)
Architectural Features	3'
Awnings and Canopies (minimum 7 ft clearance above streets or walks)	5'
Bay Windows, Chimneys	2'
Fire Escapes	5'
Steps and Porches (non-enclosed)	6'

F. Height Measurements

The height of a structure is the vertical distance from the average finished grade of the structure to the:

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4.04. GENERAL SITE DEVELOPMENT STANDARDS

1. Highest point of the roof surface for flat roofs;
2. The deck line of a mansard roof; or
3. The average height level between the eaves and ridge for a gable, hip, or gambrel roof.

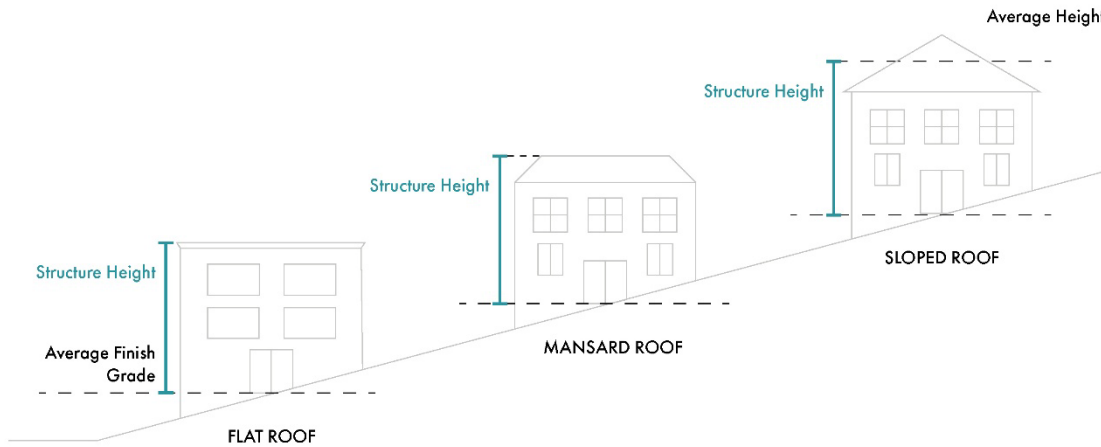


Figure 4-1: Example of Height Measurement

G. Exceptions to Height Limits

The following uses and structures are exempt from the height limitations of these zoning regulations.

1. Barns, silos, windmills, chimneys, spires, flagpoles, ventilators, skylights, derricks, conveyors and cooling towers, radio and television antennae and towers, observation towers, power transmission towers and water tanks.
2. Churches, schools, hospitals, sanatoriums, and other public and semi-public buildings may exceed the height limitations of the district if the minimum depth of the front, side, and rear yards required in the district are increased one (1) foot for each two (2) feet by which the height of the structure exceeds the prescribed height limits.

4.04. GENERAL SITE DEVELOPMENT STANDARDS

A. Traffic Visibility Across Corner Lots

On any corner lot or curb cut, no wall, fence, structure, parking space, or any plant growth which obstructs sight lines at elevations between two and one-half (2 ½) feet and nine (9) feet above the crown of the adjacent roadway shall be placed or maintained within a triangular areas 25 feet along each of the intersecting streets to be measured from the property line.

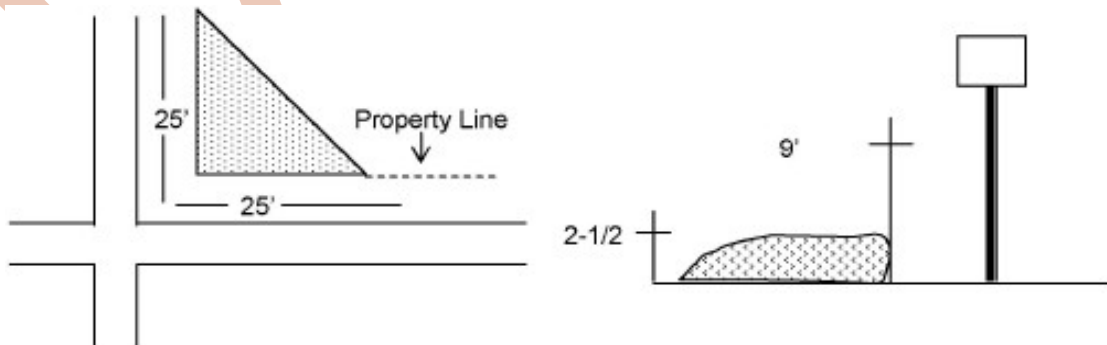


Figure 4-2: Site Distance Triangle

4.05. DESIGN STANDARDS FOR MIXED COMMERCIAL DISTRICT

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4.05. DESIGN STANDARDS FOR MIXED COMMERCIAL DISTRICT

A. Purpose

The purpose of this section is to establish standards and regulations to encourage development that contributes to the architectural aesthetic, image, and character of the built environment. The Planning & Zoning Director shall review applications against the standards as applicable herein.

B. Applicability

Unless otherwise expressly stated, the provisions of this section shall apply to all new nonresidential and multi-family developments in all MCL, MCC, and MCR districts as established in [Table 4.05-1: Applicability of Design Standards for Mixed Commercial Districts](#):

Table 4.05-1: Applicability of Design Standards for Mixed Commercial Districts	
Site/Building Improvement	Applicability of Design Standards
NEW CONSTRUCTION	
New Construction	Full Compliance
BUILDING EXPANSION / ADDITION	
Less than 25% of floor area	N/A
Less than 25% of floor area, but >2,000 sq. ft.	Compliance for Addition Only
25 – 50% of floor area	Compliance for Addition Only
>50% of floor area	Full Compliance
EXTERIOR FAÇADE RENOVATION	
<25% of Façade Area	N/A
25 – 50% of Façade area	Compliance required for renovated portion
>50% of Façade Area	Full compliance
CHANGE OF USE / OCCUPANT	
Change in Use Only (No Expansion or Renovation)	N/A
VEHICULAR USE AREA IMPROVEMENTS	
Parking Lot Expansion < 10 Spaces	N/A
Parking Lot Expansion > 10 spaces	N/A
Resurfacing or Restriping	N/A

C. Design Standards

1. Building Orientation

- a. A single building shall be oriented so the primary façade faces the street from which the site obtains its address on.
- b. For corner lots, the building may face either street, or the center of the intersection.
- c. For lots fronting two non-intersecting streets, the primary façade shall face the street with the higher street classification.
- d. Multi-building developments should be arranged in a manner that allows for mobility through the street blocks via streets, pedestrian walkways, or other mobility and connectivity routes.
- e. Buildings facing the street and pedestrian walkways should include windows or transparent materials that equal a minimum of 25% of the length of the front façade of the building, or store frontage.

2. Building Massing

- a. There shall be no uninterrupted lengths of blank walls longer than 40 feet for facades that are at least 60 feet in width. This applies to all elevations visible from rights-of-way and from residential zoning districts. The following techniques may be used to implement this standard:
 - i. Recesses and projections in the wall that are at least two (2) feet in depth;
 - ii. Façade material or color changes following the same dimensional requirements;

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- iii. Pilasters measuring a minimum of one (1) foot by one (1) foot with a minimum height of 80% of the building façade (See [Figure 4-3](#) below); or
- iv. Roofline changes that correspond to the aligned material changes in the façade.

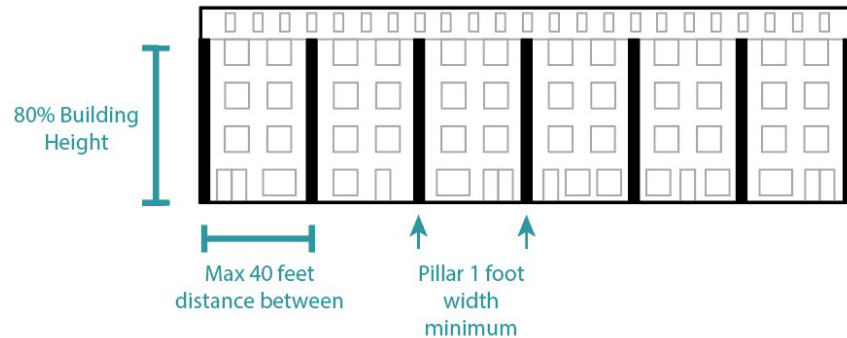


Figure 4-3: Illustration of columns and pilasters on facade

- b. Windows, awnings, entry areas, and arcades shall total at least 60% of the façade length facing a public street.
- c. Individual retail spaces that are part of a larger principal retail building shall be transparent between three (3) feet about the walkway grade and eight (8) feet above the walkway grade, for no less than 60% of the horizontal length of the storefront's occupied building façade. Windows shall be recessed and should include visually prominent sills, shutters, or such forms of framing. Individual retail spaces shall have separate outside entrances.

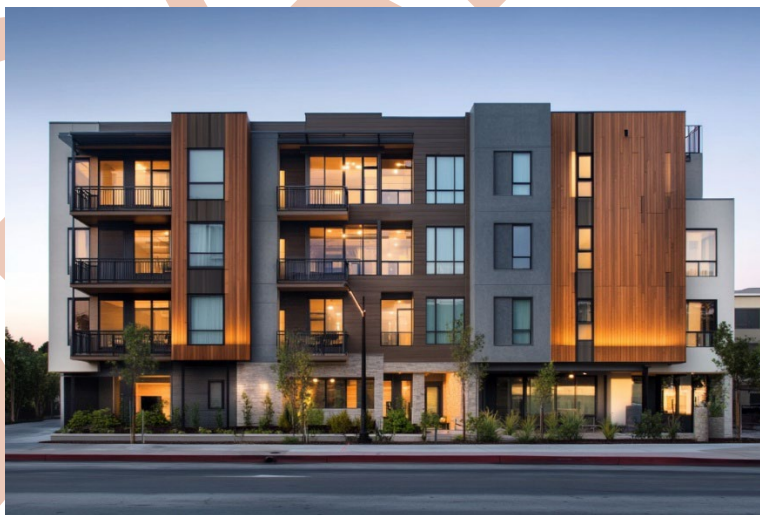


Figure 4-4: Illustration of façade offsets to create visual breaks

3. Customer Entrances

Buildings that face a public street (except limited access rights-of-way) shall include at least one (1) clearly defined, highly visible customer entrance that shall include no less than three (3) of the following design features (See [Figure 4-5](#) for examples of customer entrances):

- a. Porticos or roof overhangs above the entrance;
- b. Entry recesses / projections;
- c. Arcades that are physically integrated with the entrance
- d. Outdoor plaza adjacent to the entrance having seating and a minimum depth of 20

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- feet;
- e. Display windows that are directly adjacent to the entrance;
- f. Architectural details, such as but not limited to tile work and moldings, that are integrated or adjacent to the building entrance.
- g. Raised corniced parapets above the entrance;
- h. Gabled roof forms or arches above the entrance;
- i. Integrated planters or wing walls that incorporate landscaped areas or seating areas.



Figure 4-5: Illustration of customer entrances

4. Exterior Materials

- a. Any combination of primary building materials, as identified in [Table 4.05-2: Exterior Materials for Mixed Commercial Districts](#) shall comprise a minimum of 75 percent of each building façade that faces a public right-of-way, an interior access road, a parking area, or a residential zoning district or use. For the remaining façade, any combination of primary building materials shall comprise a minimum of 25 percent of the façade
- b. Secondary building materials, as identified in [Table 4.05-2: Exterior Materials for Mixed Commercial Districts](#), shall be used for accents, architectural treatments, and the remaining area of the façade.
- c. Each building shall have at least three (3) different building materials. At least two (2) of the three (3) materials shall be from the list of primary building material for the specific use as identified.
- d. Other building materials, which are not listed in [Table 4.05-2: Exterior Materials for Mixed Commercial Districts](#) may be reviewed and approved by Planning Commission.

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Table 4.06-2: Exterior Materials for Mixed Commercial Districts		
Building Façade Material	Public & Institutional and Commercial Uses	Industrial Uses
Primary Material (>75%)	Brick, stone, cultured stone, architectural CMU block, and glass	Brick, stone, cultured stone, architectural CMU block, glass, and precast concrete panels
Secondary Materials (<25%)	Architectural grade metal panels, fiber cement siding, EIFS, stucco, wood, precast concrete panels, and vinyl siding	Architectural grade metal panels, fiber cement siding, EIFS (Exterior Insulation and Finish), stucco, wood, and vinyl siding

5. Multi-Sided Architecture

- a. The sides and rear of a structure shall include consistent detail such as the front façade of the structure in terms of architectural features.
- b. Side and rear façades of a structure that are not visible from adjacent properties or rights-of-way are exempt from this standard.

6. Roofs

- a. Roof line changes shall be aligned vertically with the corresponding business frontage, offset, or material or color change.
- b. Flat roofs shall be screened from view with parapet walls that have 3-dimensional cornice treatment or other screening methods.
- c. Chimneys do not have to be screened with a parapet wall.
- d. Roofs for single story buildings less than 16 feet in height shall:
 - i. Utilize gable, hip, or mansard roofs with a pitch no less than 6/12.
 - ii. Utilize architectural dimensional shingles, especially adjacent to residential or other commercial buildings which utilize dimensional shingles to maintain the character of the area where the proposed building is located. Standing seam metal roofs may be allowed in some locations and situations, based on context.
 - iii. Such roofs shall utilize a soffit overhang of 18 inches minimum where the roof meets the exterior building walls.
- e. Roofs for single store story buildings greater than 16 feet in height, or multi-story buildings shall incorporate:
 - i. Flat roofs with parapets or other architectural features which extend high enough above the roof line to screen rooftop units and mechanical equipment. ([See Figure 4-6](#) below); or
 - ii. Sloping roofs as outlined in [Section 4.05.C.6.d](#) (dimensional shingles are recommended; roof pitch and soffit overhang may be reduced by the Board of Adjustment on a case by case basis).

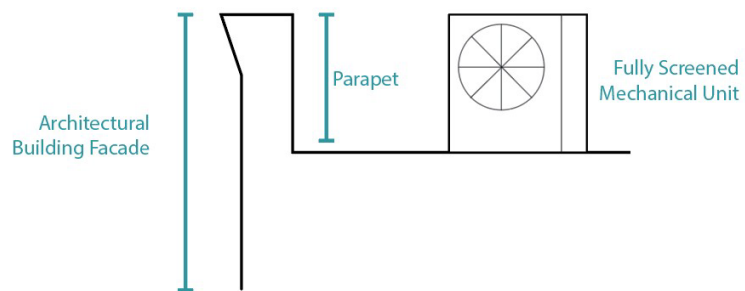


Figure 4-6: Illustration of rooftop mechanical units screened by parapet

7. Mechanical Equipment

a. Wall Mounted

Mechanical, electrical, communications, gutters, downspouts, and other building wall mounted utility fixtures shall be designed to match the paint or materials of the building. Such fixtures shall also be located to blend into the façade as much as possible.

b. Ground Mounted

All ground mounted mechanical equipment shall be screened from view from all rights-of-way and residential districts or residential use.

c. Roof Mounted

- i.** All pipes, mechanical equipment, vents, antennas, and satellite dishes (excluding chimneys) shall be located on top of the rear of the structure and be screened with a parapet wall that has 3-dimensional cornice treatment, mansard roof, gable roof, hip roof, or dormers, when visible from any right-of-way or residential district, including residential uses in non-residential districts.
- ii.** Screening elements shall include walls that match the design of the principal structure, mounds, landscaping, parapets, or enclosures that are made of that of the primary material of the principal structure. Alternative screening methods require review and approval by the Planning Commission.
- iii.** Screening components shall be maintained in a good condition.
- iv.** Any noise generated from mechanical equipment shall be subject to any applicable noise regulations adopted by the City or County.
- v.** Alternative screening methods can be made when topographical constraints affect the screening requirements and shall be reviewed by and approved by the Planning Commission.

8. Dumpster and Trash Receptacle Enclosures

a. Applicability

The provisions of this section shall apply to all dumpsters and trash receptacles that are 32 gallons or larger and are located outside of an enclosed building in all zoning districts.

b. Enclosure Design Standards

- i.** Dumpsters and trash receptacles shall be located in side or rear yards and shall not be visible from any residentially zoned property, recorded residential subdivision, or any parcel containing a dwelling (unless zoned for non-residential purposes) and shall be located to minimize view from any public right-of-way to the extent reasonably practicable.
- ii.** All dumpsters and trash receptacles must be completely screened on three (3) sides by a wall not less than six (6) feet, or more than eight (8) feet in height.
- iii.** The exterior of the enclosure shall be constructed out of masonry materials that are consistent with the principal structure.
- iv.** The fourth side shall be screened with an opaque gate with a lockable latch assembly. Such gates shall remain closed unless the waste receptacle(s) are being accessed.

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- v. The side of the enclosure used for access shall have a minimum opening width of 10 feet.
- vi. The enclosure shall be situated in a permanent location and placed on a concrete pad, or other paved surface.
- vii. The pad shall be of a dimension that will allow the receptacle(s) to sit entirely on the pad and to permit the front wheels of a trash disposal truck to rest on the pad while emptying the trash receptacle.
- viii. In cases where the dumpster or trash receptacle is integrated with the principal structure, alternative screening methods may be used as determined appropriate by the Planning & Zoning Director. (See [Figure 4-Z](#) below)



Figure 4-7: Dumpster enclosure example

9. Loading Docks and Service Doors

- a. All loading or truck docks shall not be visible from all rights-of-way, and from adjacent residentially zoned property, recorded residential subdivisions, or any parcel containing a dwelling (including those within non-residential zoning districts, unless the residential use is established after the commercial use).
- b. Overhead service doors and doors larger than six (6) feet in width used for commercial purposes shall not be visible from residentially zoned property, recorded residential subdivisions, or any parcel containing a dwelling (including those within non-residential zoning districts, unless the residential use is established after the commercial use).

10. Alternative Standards Request

- a. An applicant may submit a waiver request to the design standards contained within this section to the Planning and Zoning Department, which may be approved administratively per [Section 13.07. Waivers and Modification](#) or forwarded to the Planning Commission for other requests. In doing so, the following standards must be met:
 - i. The waiver request or modification does not adversely affect the intent of these regulations to adequately safeguard the general public and surrounding properties.

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- ii. A special circumstance warrants a change and whereby the modification or waiver is determined to be in the best interest of the general public.
 - iii. The proposed alternative achieves the intent of the subject design standard(s), to the same or better degree than the subject standard(s), and results in benefits to the community that is equivalent to or better than compliance with the subject design standard(s).
- b. The waiver request shall include the following:
- i. A narrative that describes the nature of the request and the justification for why the request is needed for the success of the project or development.
 - ii. Site plans, building elevations, and perspective drawings or photo overlays of the proposed building / development. These shall illustrate the improvement(s) in relation to the neighboring facilities including, but not limited to:
 - (A). Building shapes and sizes, colors, shade and shadow, signage, entrance treatment, edge treatments, and appurtenances;
 - (B). Construction material type;
 - (C). Exterior lighting including location, lamp type, size, and fixture type; and
 - (D). Treatment of mechanical equipment and service operations;
 - iii. Additional presentation tools such as material samples, models, or electronic visualization are encouraged but not mandatory.

11. Enforcement

The Planning & Zoning Director shall be responsible for reviewing and enforcing the provisions of this section during the review of an application.

4.06. DESIGN STANDARDS FOR ENTERPRISE DISTRICTS

A. Applicability

Unless otherwise expressly stated, the provisions of this section shall apply to the following within the Enterprise Employment, EE district:

- 1. All new buildings; and
- 2. Exterior additions, alterations, or modifications to existing buildings as established in [Table 4.07-1: Applicability of Design Standards for Enterprise Employment Districts](#).

Table 4.07-1: Applicability of Design Standards for Enterprise Employment Districts	
Site/Building Improvement	Applicability of Design Standards
NEW CONSTRUCTION	
New Construction	Full Compliance
BUILDING EXPANSION / ADDITION	
Less than 25% of floor area	-
Less than 25% of floor area, but >2,000 sq. ft.	Compliance for Addition Only
25 – 50% of floor area	Compliance for Addition Only
>50% of floor area	Full Compliance
EXTERIOR FAÇADE RENOVATION	
<25% of Façade Area	-
25 – 50% of Façade area	Compliance required for renovated portion
>50% of Façade Area	Full compliance
CHANGE OF USE / OCCUPANT	
Change in Use Only (No Expansion or Renovation)	-

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VEHICULAR USE AREA IMPROVEMENTS	
Parking Lot Expansion < 10 Spaces	-
Parking Lot Expansion > 10 spaces	-
Resurfacing or Restriping	-

B. Building Entrances

Industrial uses shall have clearly identified building entrances, which meet the requirement of [Section 4.05.C.3. Customer Entrances](#).

C. Roofs

Single-story and multi-story industrial buildings shall utilize the following roof types:

1. Flat Roofs, which meet the following requirements:
 - a. Include parapets or other architectural features which extend above the roof line to screen rooftop units and mechanical equipment from adjacent public and private rights-of-way, as well as from all property zoned or used for residential purposes (See [Figure 4-6](#)). The parapet or other architectural feature shall use one of the predominant colors used on the primary façade of the building;
 - b. Include projections which extend above the roof line by at least two (2) feet in height a minimum of every 40 feet. Each projection shall have a minimum width of 20 feet.
2. Sloping roofs;
3. Any other roof type that is determined to be appropriate by the Planning & Zoning Director.

D. Façade Design

1. Industrial buildings which are visible from the public right-of-way and have building frontage of 60 linear feet or more shall incorporate two (2) of the following façade design requirements:
 - a. Visual breaks in the façade such as wall offsets of at least two (2) feet in depth (projections or recesses) a minimum of every 40 feet. Each offset shall have a minimum width of 20 feet;
 - b. Change in materials, color, texture or pattern at a minimum of every 40 feet;
 - c. Columns or pilasters with a minimum width of one (1) foot and a minimum height of 80% of the façade height and spaced at a maximum interval of 40 feet (See [Figure 4-3](#));

E. Service and Overhead Doors

Service doors greater than six (6) feet by eight (8) feet in size or overhead retractable doors use in conjunction with an industrial building shall not be visible from any public right-of-way, residential zoned property, or any residential subdivision; however, if all nearby residential properties are zoned for a commercial use or planned for a commercial use by the Frankfort Franklin County Comprehensive Plan, the serviced doors may be visible from such properties.

F. Truck Docks and Off-Street Loading

1. Truck docks and off-street loading areas shall not be visible from any public right-of-way, residential zoned property, or any recorded residential subdivision; however, if all nearby residential properties are zoned for a commercial use or planned for a commercial use by the Frankfort Franklin County Comprehensive Plan, off-street loading areas may be visible from such properties.
2. In cases where an industrial development contains two or more buildings, any proposed truck docks or off-street loading areas shall be located between the buildings and partially enclosed by architectural projects from the building and/or wing walls wherever possible,

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which shall be tall enough to screen the loading area. If the Planning & Zoning Administrator determines that this requirement is not feasible due to site design considerations, staff may require additional screening which meets the intent of this requirement.

3. In addition to the regulations contained herein, all off-street loading areas shall be subject to the regulations set forth in [Section 5.05. Off-Street Loading Requirements](#).



Figure 4-8: Screening of Truck Docks and Off-Street Loading Areas

G. Building Foundation Landscaping

Foundation plantings are required for all buildings over 20,000 square feet with a façade that faces a public road and shall be placed within ten (10) feet of the building foundation.

1. Shrubs or hedges meeting the requirements of [Section 6.05. Landscape Materials](#) shall be required every five (5) feet along facades of a building that are visible from a public right-of-way.
2. One tree meeting the requirements of [Section 6.05. Landscape Materials](#) shall be required every 20 linear feet of building perimeter for buildings visible from a public right-of-way.



Figure 4-9: Illustration of Building Foundation Landscaping

H. Alternative Standards Request

1. An applicant may submit a waiver request to the design standards contained within this section to the Planning and Zoning Department, which may be approved administratively per [Section 13.07. Waivers and Modifications](#) or forwarded to the Planning Commission for other requests. In doing so, the following standards must be met:
 - a. The waiver request or modification does not adversely affect the intent of these regulations to adequately safeguard the general public and surrounding properties.

ARTICLE 4. DIMENSIONAL AND DESIGN STANDARDS

4.06. DESIGN STANDARDS FOR ENTERPRISE DISTRICTS

- b. A special circumstance warrants a change and whereby the modification or waiver is determined to be in the best interest of the general public.
- c. The proposed alternative achieves the intent of the subject design standard(s), to the same or better degree than the subject standard(s), and results in benefits to the community that is equivalent to or better than compliance with the subject design standard(s).

2. The waiver request shall include the following:

- a. A narrative that describes the nature of the request and the justification for why the request is needed for the success of the project or development.
- b. Site plans, building elevations, and perspective drawings or photo overlays of the proposed building / development. These shall illustrate the improvement(s) in relation to the neighboring facilities including, but not limited to:
 - i. Building shapes and sizes, colors, shade and shadow, signage, entrance treatment, edge treatments, and appurtenances;
 - ii. Construction material type;
 - iii. Exterior lighting including location, lamp type, size, and fixture type; and
 - iv. Treatment of mechanical equipment and service operations;
- c. Additional presentation tools such as material samples, models, or electronic visualization are encouraged but not mandatory

I. Enforcement

The Planning & Zoning Director shall be responsible for reviewing and enforcing the provisions of this section during the review of an application.